



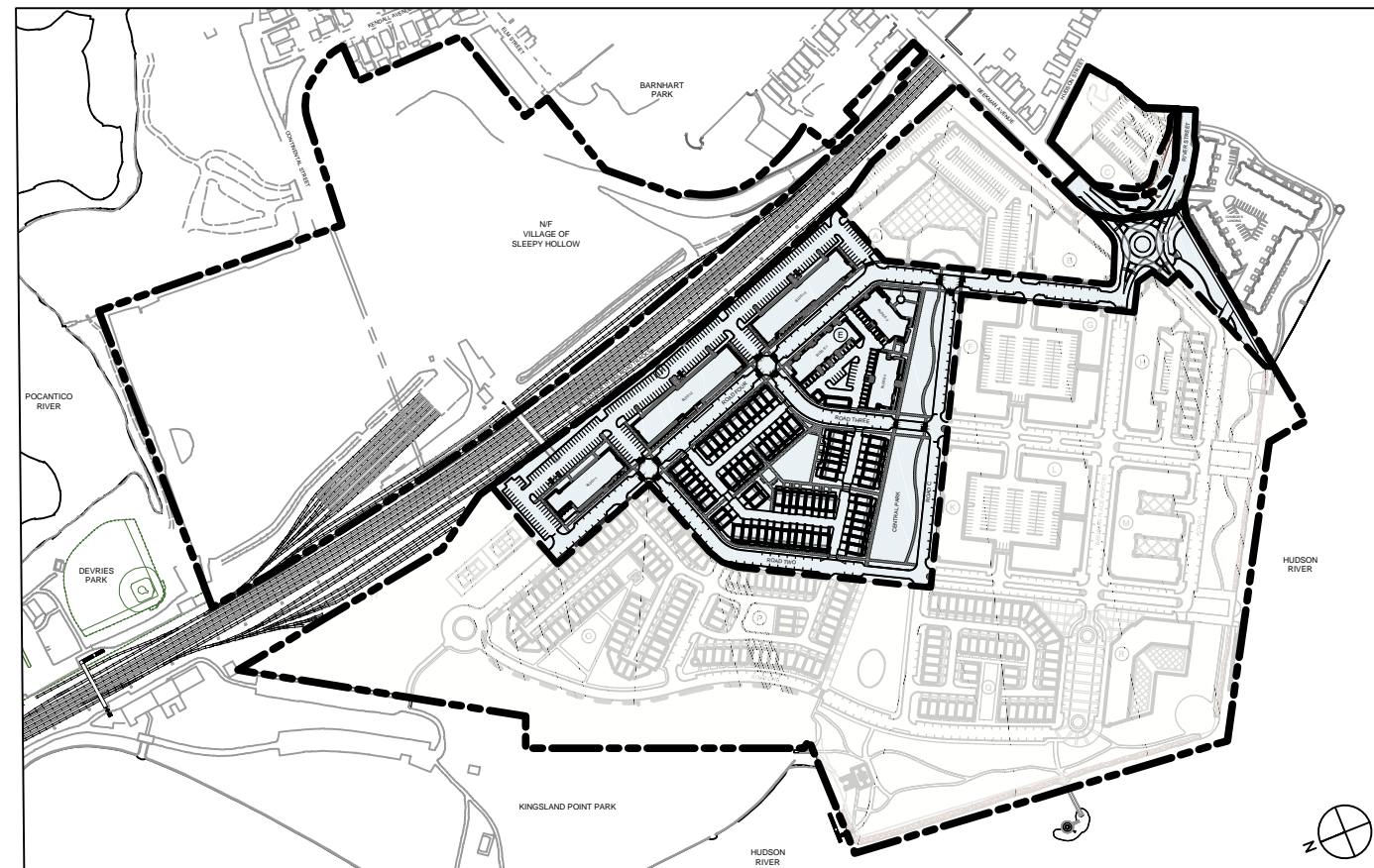
EDGE-ON-HUDSON

SLEEPY HOLLOW, NEW YORK

APPLICATION FOR SITE PLAN & SUBDIVISION APPROVAL

PHASE ONE

MAY 7, 2015



OWNER / APPLICANT

Lighthouse Landing Venture LLC
1270 Avenue of the Americas, Suite 301
New York, NY 10020

SITE ENGINEER / LANDSCAPE ARCHITECT

DIVNEY • TUNG • SCHWALBE
Intelligent Land Use

Divney Tung Schwalbe, LLP
One North Broadway
White Plains, NY 10601

ARCHITECT / LANDSCAPE ARCHITECT

HART HOWITON
PLANNERS-ARCHITECTS-
LANDSCAPE ARCHITECTS

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New York, NY 10016

ARCHITECT

Minno & Wasko
80 Lambert Lane, Suite 105
Lambertville, NJ 08530

TRAFFIC ENGINEER

TRC Engineers, Inc.
7 Skyline Drive
Hawthorne, NY 10532

SURVEYOR

Control Point Associates, Inc.
35 Technology Drive, 1st Floor
Warren, NJ 07059

**EDGE-ON-HUDSON
VILLAGE OF SLEEPY HOLLOW, NEW YORK**

APPLICATION FOR PHASE 1 SITE PLAN & SUBDIVISION APPROVALS

OWNER & APPLICANT

Lighthouse Landing Venture LLC
c/o SunCal
1270 Avenue of the Americas, Suite 301
New York, NY 10020

TAX MAP DESIGNATION:

Section 115.10, Block 1, Lots 1 (West Parcel)
Section 115.15, Block 1, Lots 1 (South Parcel)

CONTRIBUTING PROFESSIONALS:

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9. **ENVIRONMENTAL**
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55 Main Street, 3rd Floor
Yonkers, NY 10701

May 7, 2015

Chairman Eliot Martone and
Members of the Planning Board
Village of Sleepy Hollow
28 Beekman Avenue
Sleepy Hollow, NY 10591

Re: Phase 1 Site Plan & Subdivision Application
Edge-On-Hudson Riverfront Development
199 Beekman Avenue, Sleepy Hollow

Dear Chairman Martone and Members of the Planning Board:

On behalf of Lighthouse Landing Venture LLC ("Applicant" or "LLV"), we are pleased to submit the enclosed documents in support of an application for Phase 1 Site Plan and Subdivision Approvals for the project formerly known as Lighthouse Landing. Phase 1 is comprised of 306 residential units with associated infrastructure and open space, and constitutes the first stage of the transformation of the west parcel of the former General Motors assembly plant to the mixed-use riverfront community for which Special Permit approval was granted by the Sleepy Hollow Village Board in 2011.

The submission consists of:

- This Cover Letter with Figures
- Tab I – Forms and Attachments
 - Village of Sleepy Hollow Planning Board Forms
 - VSH Planning Board Application Form
 - VSH Coastal Assessment Form
 - VSH Zoning Compliance Form
 - Attachments
 - Owners of Record Within 200 Foot Radius
 - Affidavit of Ownership
 - Tax Certificate
 - Engineer's Certificate
 - List of Full Size Drawings (separately bound)
 - Preliminary Stormwater Pollution Prevention Plan (separately bound)

Chairman Eliot Martone and Members of the Planning Board
Re: Edge-On-Hudson Riverfront Development

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- Tab II – Architecture
- Tab III - Landscape Architecture
- Tab IV – Consistency with Design Guidelines

2011 Special Permit, Riverfront Development Concept Plan and Design Guidelines

The Lighthouse Landing Riverfront Development Concept Plan (RDCP) and Special Permit were approved by the Sleepy Hollow Village Board in June 2011 following an extensive environmental review culminating in State Environmental Quality Review (SEQR) Findings Statements being adopted by the Village Board in July 2007 and January 2011. The approved RDCP includes the donation of the site's 28.3 acre East Parcel to the Village of Sleepy Hollow, the construction and dedication to the Village of 16.1 acres of riverfront and internal open space on the West Parcel, and the creation of a mixed-use community comprised of 1,177 residential dwelling units, 135,000 square feet of retail space, 35,000 square feet of office space, and a 140-room hotel. In its approval resolution, the Village Board noted that the RDCP "will substantially fulfill all of the purposes of the Riverfront Development Zoning (RF) District," as it "revitalizes a significant unused portion of the Village's waterfront and replaces an existing incompatible land use, consisting almost entirely of impervious concrete slab and asphalt parking lot, with a mixed-use neighborhood including, commercial, residential, recreational and public uses." See Figure No. 1, Approved Riverfront Development Concept Plan.

In conjunction with approval of the RDCP, the Village Board adopted the "Design Guidelines" manual prepared by the prior applicant in conjunction with the Village's design and planning consultants, and published in the project's Final Environmental Impact Statement (FEIS). In accepting the Design Guidelines as a policy document, the Village Board noted:

"Resolved, that the Village Board intends that the Design Guidelines document shall be utilized by the Planning Board and other boards and committees serving the Village in subsequent reviews to ensure that the Project elements will be integrated by cohesive design, maintain an appropriate Hudson River waterfront community image, and provide visual interest; and be it further

Resolved, that the Design Guidelines are intended to provide a flexible framework, as the Village moves forward with more specific approvals."

The Phase 1 Site Plan

The Phase 1 project area is approximately 24 acres and is comprised of Blocks I, E and J; portions of the "Central Park" and the "Village Green;" and sections of four future public streets and the roundabout that will mark the juncture between Beckman Avenue, River Street

Chairman Eliot Martone and Members of the Planning Board
Re: Edge-On-Hudson Riverfront Development

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and Edge-On-Hudson. See Figure No. 2, Phase 1 Illustrative Plan. Each of the blocks has a different architectural character and building type, as established in the RDCP and further described in the Design Guidelines: Block I bordering the Metro-North tracks constitutes the “Loft District,” Block E fronting on the Central Park is part of the “Central Park District,” while Block J is part of the “Townhome District.” Within each block, however, street and open space adjacencies are reflected in variations in architectural treatment within the overall design framework. See Figure No. 3 for examples of the architectural elevations, plans and design precedents that are presented for all the proposed buildings in Tab II – Architecture.

Both the approved RDCP and the Design Guidelines considered landscape – including the streetscapes, the public park land and the private open spaces – to be a critical component of the Edge-On-Hudson community. As proposed in Phase 1, the new street tree plantings will connect the components of the Village Green and Central Park with the neighborhood green spaces and individual patios and gardens of the residential units. See Figure No. 4 for examples of the landscape plans, treatments and designs that are proposed for the various open space areas and presented in Tab III – Landscape Architecture.

The site engineering and landscape architectural drawings included in this submission satisfy the requirements of the Village’s site plan application regulations. See the Application Drawing List in Tab I – Attachments. Half-size sets are included with each application package, and full-size sets are being submitted to the Building Department and are available upon request. A Preliminary Stormwater Pollution Prevention Plan (SWPPP) with stormwater analyses is also being submitted to the Building Department and is also available upon request in hard-copy or digital form.

Phase 1 also includes the subdivision of the approximately 64.5-acre West Parcel (Village Tax ID 115-10-1) into nine lots and sections of roadway rights-of-way to be dedicated to the Village upon completion of associated streetscape improvements. The lots will include five development parcels (three for Block I and one each for Blocks E and J), two open space parcels (for proposed dedication of two sections of the Central Park) and two parcels for future development. See Figure No. 5, Proposed Subdivision Diagram, for the proposed lot layout. A Preliminary Subdivision Plat is included in the drawing set for this application.

Consistency with the Design Guidelines

As described in the 2011 Special Permit and RDCP approval resolution, the Design Guidelines document established “design principles for, among others, architectural treatment and scale, materials, building orientation, streetscapes and open spaces” for the Edge-On-Hudson project.

Chairman Eliot Martone and Members of the Planning Board
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As noted above, the Design Guidelines were intended to provide “a flexible framework” for future specific reviews, while ensuring “that the Project elements will be integrated by cohesive design, maintain an appropriate Hudson River waterfront community image, and provide visual interest.”

Each of the planning and design decisions made by the Applicant’s project team during the preparation of the Phase 1 Site Plan was considered within the context of the Design Guidelines. A separate analysis of the project’s consistency with the Design Guidelines is presented in Tab IV. See Figure No. 6 for examples of consistency assessments of the architectural and landscape architectural elements of the Phase 1 Site Plan.

Consistency with the Approved Riverfront Development Concept Plan (RDCP)

The street grid, block layout and open space areas of the Phase 1 Site Plan remain essentially the same as the approved RDCP so that the Phase 1 Site Plan will connect seamlessly with future phases of the Edge-On-Hudson community. See Figure No. 7, Phase 1 Site Plan Within Approved RDCP. The configuration of the Phase 1 buildings within Blocks E, I and J, however, has been modified to reflect further development of the program, planning and design of buildings initially proposed in 2006 as part of the FEIS and subsequently approved with minor revisions by the Sleepy Hollow Village Board in 2011. Changing market conditions for the different residential unit types (townhouse, condominium and rental apartment) also have been factored into the current plan.

A comparison of the Phase 1 Site Plan and the corresponding area of the RDCP is provided in Figure No. 8. There are 306 residential units proposed within the Phase 1 Site Plan, 28 fewer than the 334 units shown in Blocks I, E and J in the RDCP. A table with the unit breakdowns in both plans is provided below. The primary changes include:

- Block I – The long (440 feet) single loft-style, 4-story building in the RDCP has been split into three loft-style, 4-story buildings in the Phase 1 Site Plan, with 40 senior affordable units located in the northern building and 21 workforce units interspersed within the other two buildings. The Block I building and parking areas have been extended to incorporate areas shown in the RDCP as a tennis court and space reserved for a drop-off lane for a potential future train station¹. The Block I unit count has been increased from 131 to 188.

¹ The drop-off function could still be provided near the same area with the relocation of several parking spaces should such a need ever arise.

Chairman Eliot Martone and Members of the Planning Board
Re: Edge-On-Hudson Riverfront Development

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- Block E – In the RDCP, this block contains two 4-story buildings that share a covered parking area and raised deck. The Phase 1 Site Plan shows three 4-story buildings arranged in a similar layout with interior and freestanding garages. The Block E unit count has been reduced from 145 to 46.
- Block J – The townhome plan in Block J has been adjusted to reflect further development of the unit widths and layouts, increasing the count from 58 to 72. The residents' amenity building shown in the RDCP will be provided in a later phase of the project.

Block	2011 RDCP					2015 PHASE 1 SITE PLAN				
	Stories	Condo	Rental	TH	Total	Stories	Condo	Rental	TH	Total
I	4		131		131	4		188		188
E	4	44	101		145	4	46			46
J	3 - 4			58	58	3 - 4			72	72
Sub		44	232	58	334		46	188	72	306

Another change to the Block I buildings is being proposed following further design and program studies related to the Loft District. Drawing their inspiration from former Hudson River industrial and warehouse buildings situated along the railroad, the taller ceiling heights envisioned in the 4-story loft buildings will not fit within the 42-foot height limitation in this area of the site. The Applicant will thereby seek a variance from the Zoning Board of Appeals to permit a zoning height of 48 feet for the Block I buildings illustrated in Tab II.

We look forward to reviewing the proposed Phase 1 Site Plan and Subdivision Application at the Planning Board's May 21st meeting.

Very truly yours,

DIVNEY TUNG SCHWALBE, LLP



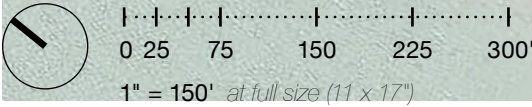
Andrew V. Tung, ASLA, Esq., LEED AP
Partner

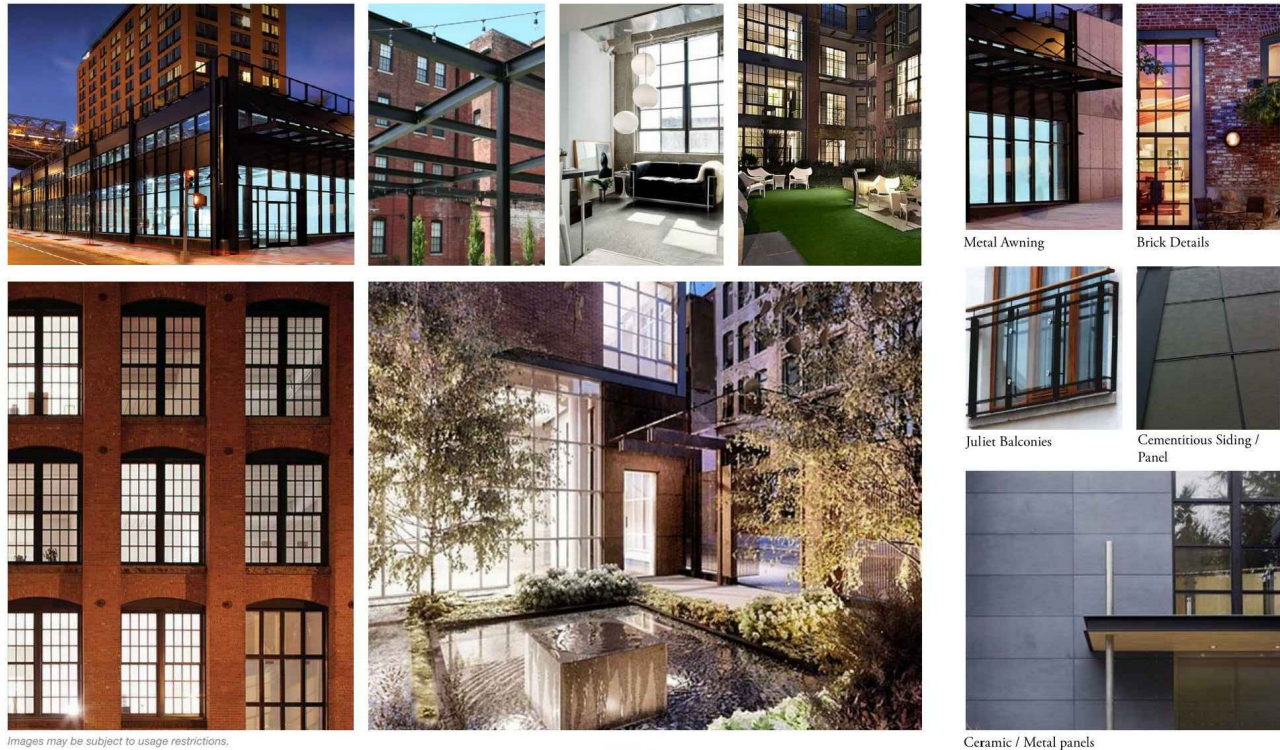
Enclosures

cc: Peter Johnson
Jonathan Stein
Peter Chavkin
Peter Wise, Esq.
Mark Weingarten, Esq.



Block	Condo	Apt	Town
E	46	-	-
I	-	188	-
J	-	-	72
TOTAL		306 DU	





Images may be subject to usage restrictions.

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Block I "Loft Style"

May 1, 2015

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BLOCK E: Condominium Units		
E-1 Units	17	27,000 GSF
E-2 Units	14	29,000 GSF
E-3 Units	15	29,000 GSF
TOTAL	46	85,000 GSF

PARKING REQUIRED			
Type	DU	Parking Req. (Spaces/DU)	Total Parking Req.
One BR	9	1.5	13.5
Two BR	34	2	68
Three BR	3	2.5	7.5
TOTAL	46		89

PARKING PROVIDED	
Type	Parking provided
Surface	45
Garage	46
TOTAL	91

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Block E Site Plan

May 1, 2015

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Front Elevation

Side Elevation

Rear Elevation

Side Elevation

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Building E- 1 Elevations

May 1, 2015

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First Floor
550 sf

Second Floor
970 sf

Third Floor
995 sf

Roof
360 sf

First Floor
560 sf

Second Floor
970 sf

Third Floor
675 sf

PROGRAM SUMMARY: OPTION 1

	Width		SF
Proposed	24'	3 BR + Den	2,875

PROGRAM SUMMARY: OPTION 2

	Width		SF
Proposed	24'	3 BR	2,205

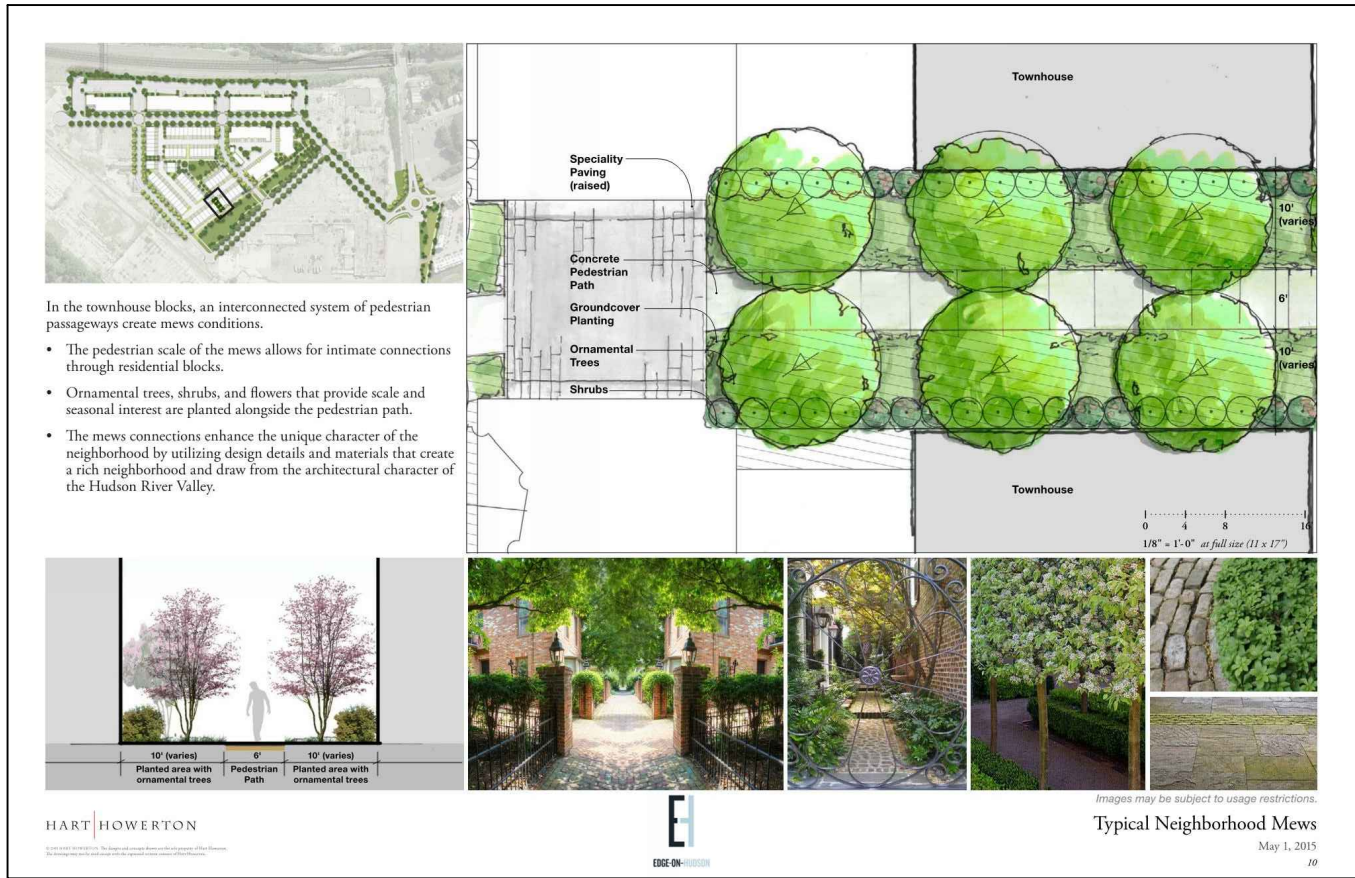
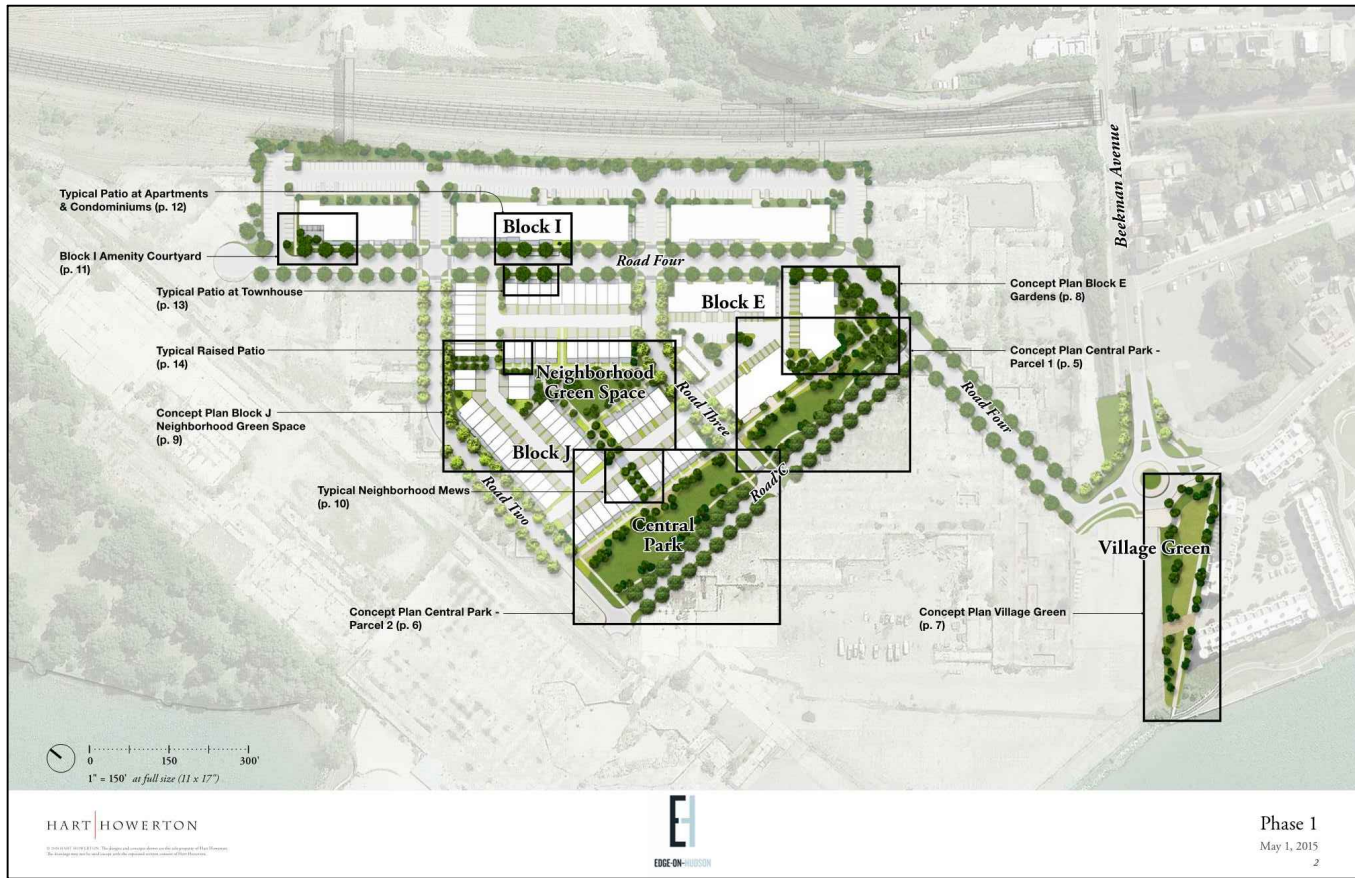
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24' Townhouse Floor Plans

May 1, 2015

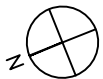
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LANDSCAPE ARCHITECTURE

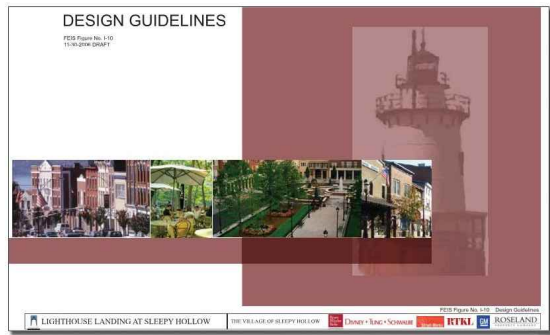
EDGE-ON-HUDSON
SLEEPY HOLLOW, NY

FIGURE NO. 4



DIVNEY • TUNG • SCHWALBE
Intelligent Land Use

FIGURE NO. 5



"Buildings shall be either traditional in their architectural character (a contemporary expression of traditional styles and forms respecting the scale proportion, character and locale materials) or contemporary, innovative architecture representative of current architectural thinking (but respectful of scale, proportion and character of surrounding/adjacent buildings). Imitations of the look of the traditional buildings are discouraged; avoid 'fake' historic architecture." (§3.3, p. 43)

"A variety of architectural features and building materials are encouraged to give each building or group of buildings a distinct character. One or more buildings of contemporary expressions are encouraged throughout Lighthouse Landing to **create a feeling of "planned eclecticism."**" (§3.3, p. 43)

"Buildings will exhibit variety in their massing, projections, and recesses while maintaining a human scale which is comfortable for the pedestrian. Where appropriate, **asymmetry in design is encouraged** to provide visual interest." (§3.3, p. 47)

"In general, design each building to **complement the architectural character of its immediate neighbors** and to be sensitive to their material, colors, and scale." (§2.3, p. 18)

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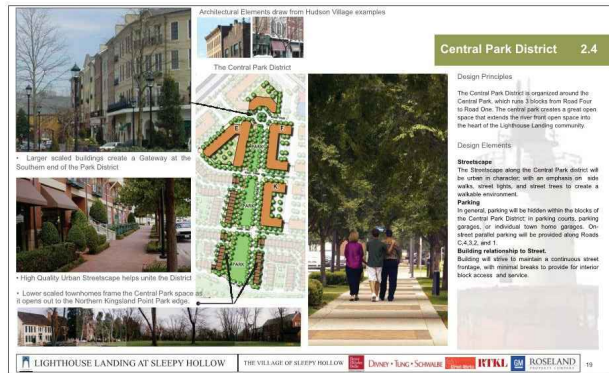
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Design Guidelines: General Principles

May 1, 2015

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"The streetscape along the Central Park district will be **urban in character**, with an emphasis on sidewalks, street lights and street trees to create a walkable environment." (§2.4, p. 19)

"Buildings will strive to maintain a **continuous street frontage** with minimum breaks to provide for interior block access and service." (§2.4, p. 19)

"Design each building to **complement the architectural character of its immediate neighbors** and be sensitive to their material, color and scale." (§2.4, p. 20)

"Buildings in the Central Park district will be of a **variety of scales.**" (§2.4, p. 20)

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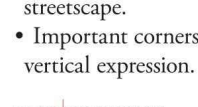
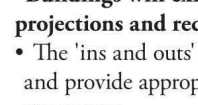
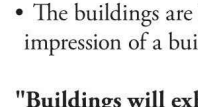
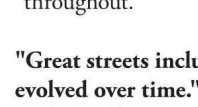
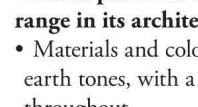
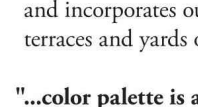
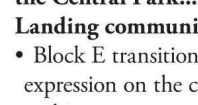
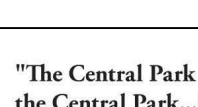
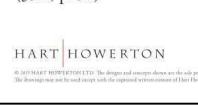
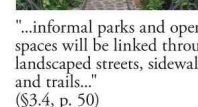
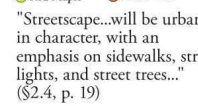
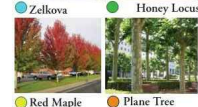
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Design Guidelines: "Central Park District"

May 1, 2015

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"color and specimen must be used generously in a few key locations" (§3.4, p. 51)



"...celebrate the seasonal nature of environmental change." (§3.4, p. 49)



"...pocket parks that provide variety to the landscape experience." (§2.5, p. 22)



"The public space becomes an overarching organizational element for the community." (§3.4, p. 50)

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Proposed Landscape Concepts

May 1, 2015

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"The Central Park District is organized around the Central Park...in the heart of the Lighthouse Landing community." (§2.4 p. 19)

• Block E transitions to a more contemporary expression on the central park. It is more open and incorporates outdoor space such as balconies, terraces and yards overlooking the park.

"...color palette is a warm one but with a diverse range in its architectural details..." (§4.4, p. 58)

• Materials and colors are still predominantly earth tones, with a common masonry language throughout.

"Great streets include buildings that have evolved over time." (§4.4, p. 57)

• The buildings are broken down to give the impression of a building that has evolved over time.

"Buildings will exhibit variety in their massing, projections and recesses..." (§3.3, p. 47)

• The 'ins and outs' create a more pedestrian scale and provide appropriate visual interest on the streetscape.
• Important corners are emphasized with a more vertical expression.

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Block E Elevations

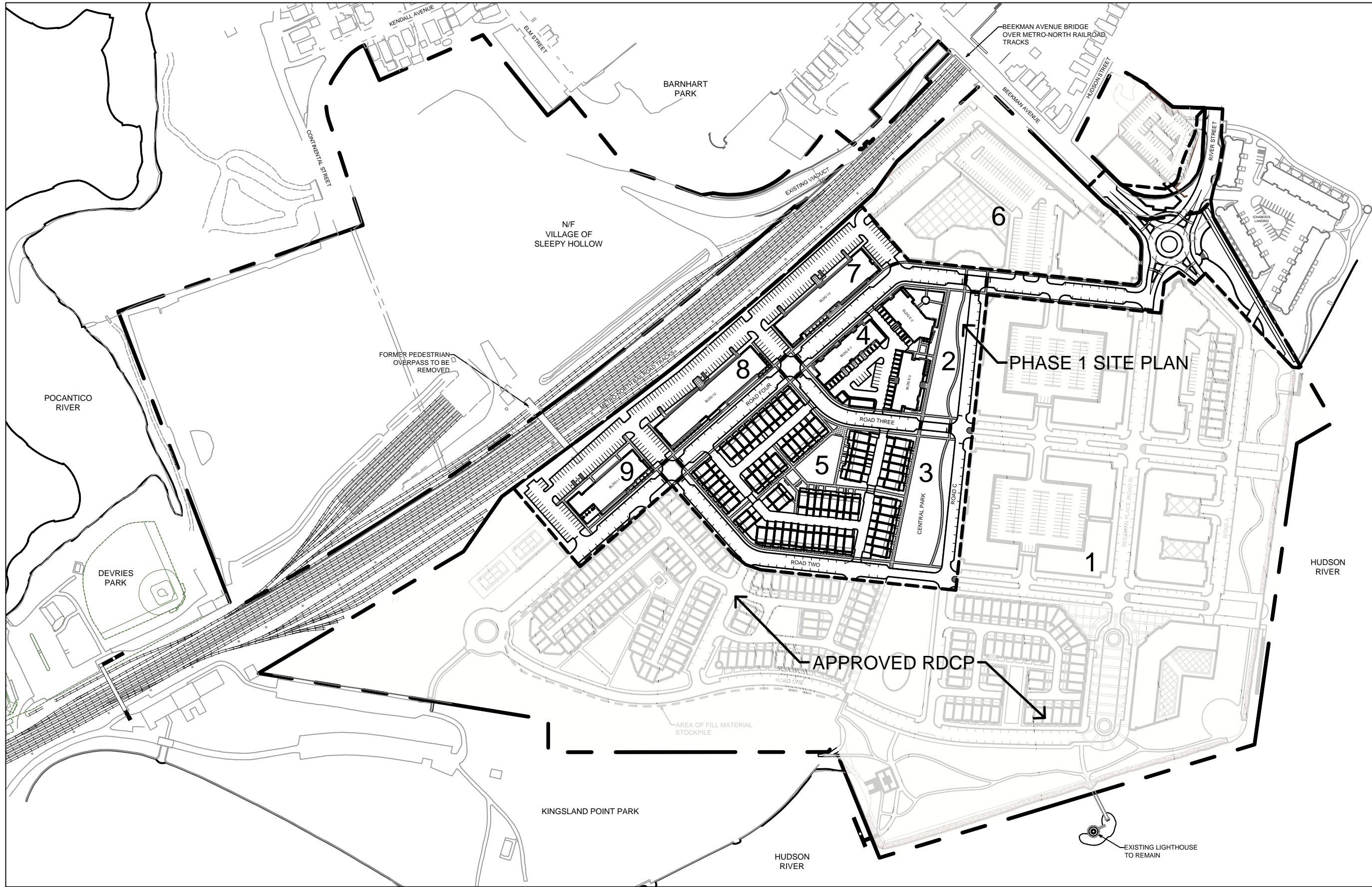
May 1, 2015

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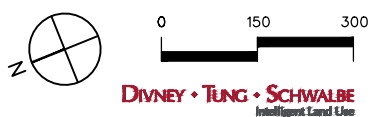
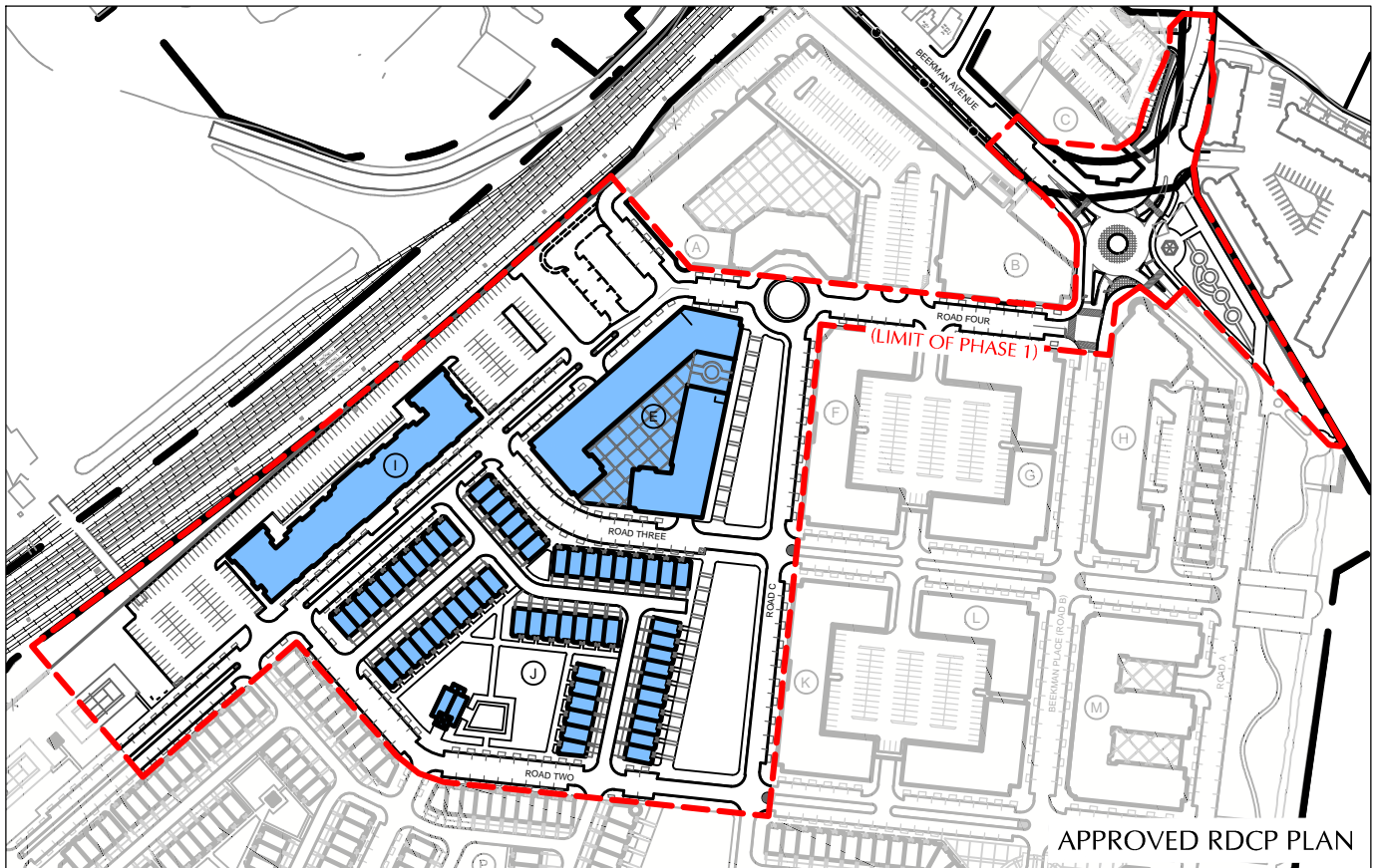
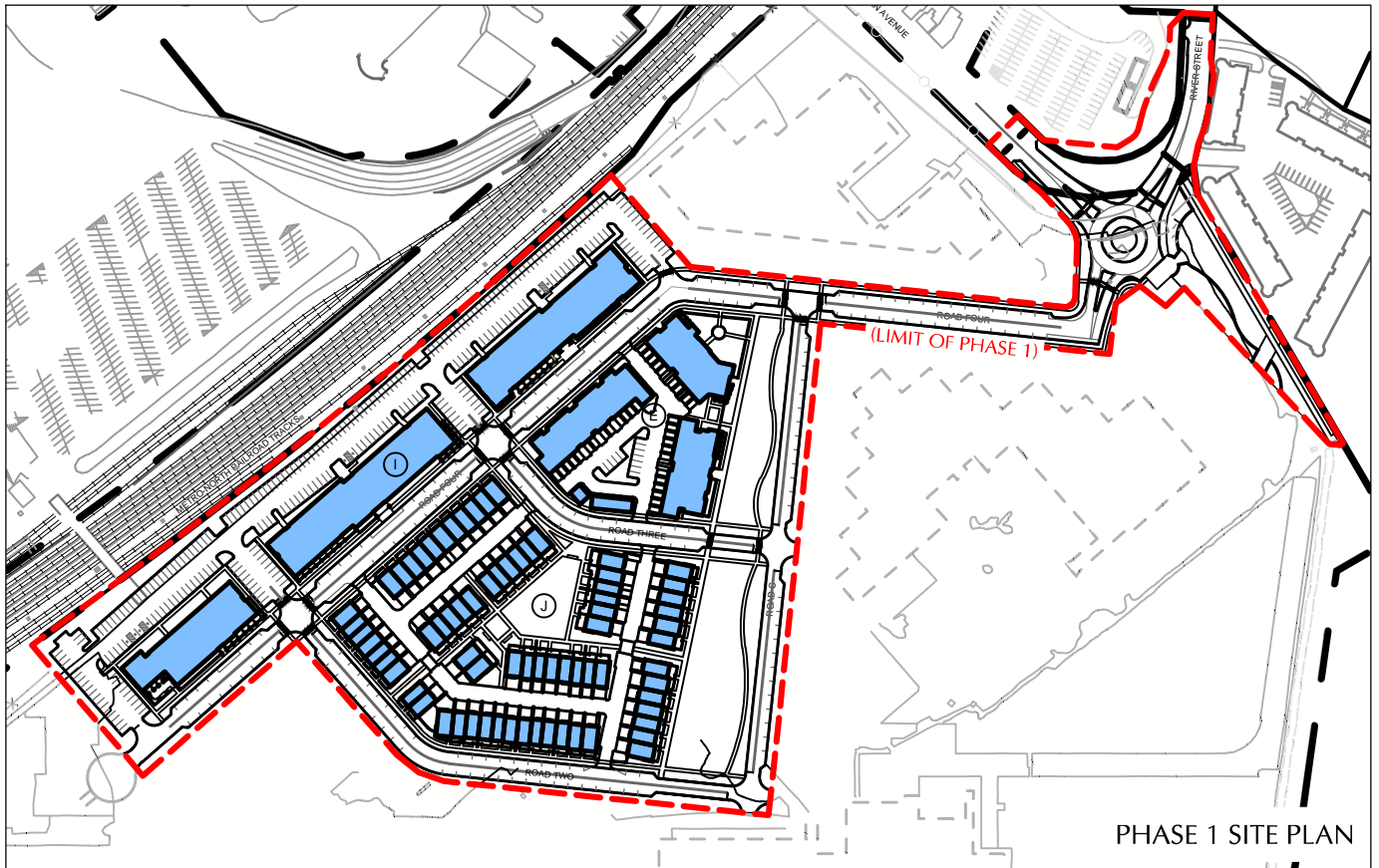
CONSISTENCY WITH DESIGN GUIDELINES

EDGE-ON HUDSON
SLEEPY HOLLOW, NY

FIGURE NO. 6



PHASE 1 SITE PLAN WITHIN APPROVED RDGP
 EDGE-ON-HUDSON
 SLEEPY HOLLOW, NY



PHASE 1 / APPROVED RDGP COMPARISON

EDGE-ON-HUDSON
SLEEPY HOLLOW, NY

FIGURE NO. 8



More Than a Legend

Village of Sleepy Hollow

Department of Architecture, Land Use Development, Buildings and Building Compliance

28 Beekman Avenue
Sleepy Hollow, NY 10591
Telephone (914) 366-5101 • Fax (914) 631-0607

PLANNING BOARD APPLICATION

1. Subdivision/Site Plan Name/Planning Board Review: Edge-On-Hudson
Phase I Site Plan and Subdivision
2. Location (tax section, block and lot number or other specific information):
115.10-1-1 (West Parcel); 115.15-1-1 (South Parcel)
3. Property owner's name Lighthouse Landing Venture LLC
c/o Suncal
4. Property owners address: 1270 Avenue of the Americas, Suite 301
New York, New York 10020; Telephone No. (949) 241-8406
5. Engineer or Surveyor's name: Divney Tung Schwalbe, LLP
6. Engineer or Surveyor's address: 1 North Broadway, Suite 1407; Telephone No. (914) 428-0010
White Plains, New York 10601
7. Size in acres 64.53 (West Parcel); 1.68 (South Parcel) Proposed number of lots 8 new lots
8. Fee _____ Date paid _____
9. Is the entire parcel involved to be subdivided at this time? Yes, with additional subdivision in future phase
10. Is any land to be dedicated to public use? Yes Acres TBD
11. Will any zoning changes or subdivision regulation waivers be requested?
Yes, a 6 ft. variance request for Block I buildings.

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10. Date of preliminary layout submission May 7, 2015

11. Conditions to be met in plat submission _____

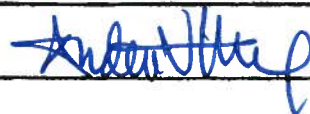
Note: Twelve (12) copies of all submissions are required with this application (folded and ready for mailing).

ENCLOSED PLEASE FIND A CHECK IN THE AMOUNT OF \$ _____ FOR SITE PLAN SUBMITTED WHICH INCLUDES \$25 FOR EACH REQUIRED PARKING SPACE.

A SEPARATE ESCROW CHECK IS TO BE ENCLOSED ALONG WITH THE SIGNED ESCROW AGREEMENT.

Name: Andrew V. Tung, ASLA, Esq., LEED AP

Signature: _____



Address: One North Broadway

White Plains, NY 10601

Telephone No: 914.428.0010

NOTE: THE APPLICATION WILL NOT BE PLACED ON THE PLANNING BOARD AGENDA FOR DISCUSSION UNTIL THE APPLICATION IS DEEMED SUBSTANTIALLY COMPLETE BY THE VILLAGE PLANNER. ALL COMPLETE SUBMISSIONS MUST BE RECEIVED BY THIS DEPARTMENT BY 12:00 O'CLOCK NOON, AT LEAST TEN BUSINESS (10) DAYS PRIOR TO THE MEETING.

NEW YORK STATE DEPARTMENT OF STATE
COASTAL MANAGEMENT PROGRAM

Coastal Assessment Form

A. INSTRUCTIONS (Please print or type all answers)

1. State agencies shall complete this CAF for proposed actions which are subject to Part 600 of Title 19 of the NYCRR. This assessment is intended to supplement other information used by a state agency in making a determination of significance pursuant to the State Environmental Quality Review Act (see 6 NYCRR, Part 617). If it is determined that a proposed action will not have a significant effect on the environment, this assessment is intended to assist a state agency in complying with the certification requirements of 19 NYCRR Section 600.4.
2. If any question in Section C on this form is answered "yes", then the proposed action may affect the achievement of the coastal policies contained in Article 42 of the Executive Law. Thus, the action should be analyzed in more detail and, if necessary, modified prior to either (a) making a certification of consistency pursuant to 19 NYCRR Part 600 or, (b) making the findings required under SEQ, 6 NYCRR, Section 617.11, if the action is one for which an environmental impact statement is being prepared. If an action cannot be certified as consistent with the coastal policies, it shall not be undertaken.
3. Before answering the questions in Section C, the preparer of this form should review the coastal policies contained in 19 NYCRR Section 600.5. A proposed action should be evaluated as to its significant beneficial and adverse effects upon the coastal area.

B. DESCRIPTION OF PROPOSED ACTION

1. Type of state agency action (check appropriate response):
 - (a) Directly undertaken (e.g. capital construction, planning activity, agency regulation, land transaction) _____
 - (b) Financial assistance (e.g. grant, loan, subsidy) _____
 - (c) Permit, license, certification _____
2. Describe nature and extent of action: Phase I Site Plan and Subdivision Application proposes the construction
of 306 dwelling units on the west parcel of the former General Motors assembly plant site, which is
currently improved only with concrete slabs and paved parking areas. The dwelling units are a mix of
and paved parking areas. The dwelling units are a mix of condominiums, apartments and townhomes.
condominiums, apartments and townhouses.
3. Location of action:

<u>Westchester</u>	<u>Sleepy Hollow</u>	<u>199 Beekman Avenue</u>
County	City, Town or Village	Street or Site Description

4. If an application for the proposed action has been filed with the state agency, the following information shall be provided:

- (a) Name of applicant: N/A
- (b) Mailing address: _____
- (c) Telephone Number: Area Code (____) _____
- (d) State agency application number: _____

5. Will the action be directly undertaken, require funding, or approval by a federal agency?

Yes _____ No X If yes, which federal agency? _____

C. COASTAL ASSESSMENT (Check either "YES" or "NO" for each of the following questions)

1. Will the proposed activity be located in, or contiguous to, or have a significant effect upon any of the resource areas identified on the coastal area map:

- | | <u>YES</u> | <u>NO</u> |
|---|------------|-----------|
| (a) Significant fish or wildlife habitats? | <u>X</u> | ___ |
| (b) Scenic resources of statewide significance? | <u>X</u> | ___ |
| (c) Important agricultural lands? | ___ | <u>X</u> |

2. Will the proposed activity have a significant effect upon:

- | | | |
|--|-----|----------|
| (a) Commercial or recreational use of fish and wildlife resources? | ___ | <u>X</u> |
| (b) Scenic quality of the coastal environment? | ___ | <u>X</u> |
| (c) Development of future, or existing water dependent uses? | ___ | <u>X</u> |
| (d) Operation of the State's major ports? | ___ | <u>X</u> |
| (e) Land and water uses within the State's small harbors? | ___ | <u>X</u> |
| (f) Existing or potential public recreation opportunities? | ___ | <u>X</u> |
| (g) Structures, sites or districts of historic, archeological or cultural significance to the State or nation? | ___ | <u>X</u> |

3. Will the proposed activity involve or result in any of the following:

- | | | |
|---|----------|----------|
| (a) Physical alteration of two (2) acres or more of land along the shoreline, land under water or coastal waters? | ___ | <u>X</u> |
| (b) Physical alteration of five (5) acres or more of land located elsewhere in the coastal area? | <u>X</u> | ___ |
| (c) Expansion of existing public services of infrastructure in undeveloped or low density areas of the coastal area? | ___ | <u>X</u> |
| (d) Energy facility not subject to Article VII or VIII of the Public Service Law? | ___ | <u>X</u> |
| (e) Mining, excavation, filling or dredging in coastal waters? | ___ | <u>X</u> |
| (f) Reduction of existing or potential public access to or along the shore? | ___ | <u>X</u> |
| (g) Sale or change in use of state-owned lands located on the shoreline or under water? | ___ | <u>X</u> |
| (h) Development within a designated flood or erosion hazard area? | <u>X</u> | ___ |
| (i) Development on a beach, dune, barrier island or other natural feature that provides protection against flooding or erosion? | ___ | <u>X</u> |

4. Will the proposed action be located in or have a significant effect upon an area included in an approved Local Waterfront Revitalization Program?
- X ___

D. SUBMISSION REQUIREMENTS

If any question in Section C is answered "Yes", AND either of the following two conditions is met:

Section B.1(a) or B.1(b) is checked; or
Section B.1(c) is checked AND B.5 is answered "Yes",

THEN one copy of the Completed Coastal Assessment Form shall be submitted to:

New York State Department of State
Division of Coastal Resources
41 State Street, 8th Floor
Albany, New York 12231

If assistance of further information is needed to complete this form, please call the Department of State at (518) 474-6000.

E. REMARKS OR ADDITIONAL INFORMATION

Preparer's Name: Andrew V. Tung
(Please print)

Title: Partner, Divney Tung Schwalbe, LLP Agency: N/A

Telephone Number: (914) 428-0010 Date: 5/7/2015



More Than a Legend

Village of Sleepy Hollow

**Department of Architecture, Land Use Development,
Buildings & Building Compliance**
28 Beekman Avenue
Sleepy Hollow, NY 10591
Telephone (914) 366-5101 · Fax (914) 631-0607

ZONING COMPLIANCE FORM

Lighthouse Landing Ventures, LLC			PROPERTY LOCATION: 199 Beekman Avenue
APPLICANT NAME : 115.10-1-1 (West Parcel)			
115.15-1-1 (South Parcel)			ZONING DISTRICT: RF
SECTION:	BLOCK:	LOT:	

		REQUIRED	EXISTING	PROPOSED	VARIANCE
AREA OF LOT (SF)	20 Acres	MIN.	64.53 AC (West) 1.68 AC (South)	varies	
WIDTH OF LOT (FT)	NA	MIN.			
FLOOR AREA RATIO (SF)	0.8	MAX.		0.07 *	

PRINCIPAL BUILDING	FRONT YARD (FT)	NA	MIN.		
	FRONT YARD - CORNER (FT)	NA	MIN.		
	REAR YARD (FT)	NA	MIN.		
	ONE SIDE YARD (FT)	NA	MIN.		
	COMBINED SIDE YARDS (FT)	NA	MIN.		
	BUILDING COVERAGE (%)	35%	MAX.	3.6% *	
	BUILDING HEIGHT (FT/STY)	Varies	MAX.	varies	6' for Block I Buildings

ACCESSORY	SIDE YARD (FT)	NA	MIN.		
	REAR YARD (FT)	NA	MIN.		
	BUILDING COVERAGE (%)	NA	MAX.		
	BUILDING HEIGHT (FT)	NA	MAX.		
	DISTANCE TO PRINCIPAL BLDG.	NA	MIN.		

PARKING	PARKING (CARS)	Varies	MIN.	639	
	LOADING ZONE	Varies	MAX.		

* Calculated on 94.5 acre site area of Approved RDCP


NYS LANDSCAPE ARCHITECT/ENGINEER

May 7, 2015
DATE

ATTACHMENTS

	LIGHTHOUSE LANDING						
	SLEEPY HOLLOW, NY						
	OWNERS OF RECORD WITHIN A 200' RADIUS						
			Property Address	Mailing Address	Sleepy Hollow		
	Owner of Record	Number	Street	City, State, Zip	(if different)	Tax ID	Certified Mail
	Nevio Stroligo	48	McKeel Avenue	Tarrytown, NY 10591		115.11-1-80	
	Angela Shibetti Swift	181	Beekman Avenue	Sleepy Hollow, NY 10591	30 Bonwit Road, Riverside, CT 06878	15-07-0004	
	Ismael Rios	183	Beekman Avenue	Sleepy Hollow, NY 10591		15-07-0003	
	Filiberto Varas	185	Beekman Avenue	Sleepy Hollow, NY 10591	5 Beekman Avenue, Sleepy Hollow, NY 10591	15-07-0002	
	Cliff Walk Sleepy Hollow, LLC	193	Beekman Avenue	Sleepy Hollow, NY 10591		New: 115.11-1-24 Old:15-07-0001	
	Julia Andrus Memorial	184	Beekman Avenue	Sleepy Hollow, NY 10591	1165 North Broadway, Yonkers, NY 10701	115.11-6-25	
	Jose Zhinin	194	Beekman Avenue	Sleepy Hollow, NY 10591		16-04-0001	
	Luis Maria Pani Alvarez	80	Clinton Street	Sleepy Hollow, NY 10591		16-04-0001.A	
	Paul Le Clerc	78	Clinton Street	Sleepy Hollow, NY 10591		16-04-0002	
	J. Northeast	75	Clinton Street	Sleepy Hollow, NY 10591	174 Webber Avenue, Sleepy Hollow, NY 10591	16-05-0022	
	Oliverio Ojito	27	Barnhart Avenue	Sleepy Hollow, NY 10591		15-07-10.2	
	Manuel Chimbo	29	Barnhart Avenue	Sleepy Hollow, NY 10591		15-07-10.1	
	Rene S. Hernandez	23	Barnhart Avenue	Sleepy Hollow, NY 10591		115-07-10.4	
	William Marte	11	Barnhart Avenue	Sleepy Hollow, NY 10591	112 Tredmore Road, Belair, MD 21015	15-07-0007	
	Paul Kyriakidis	13	Barnhart Avenue	Sleepy Hollow, NY 10591	17 Barnhart Avenue, Sleepy Hollow, NY 10591	15-07-0008	
	Paul Kyriakidis	17	Barnhart Avenue	Sleepy Hollow, NY 10591		15-07-0009	
	Carlos Goyzueta	21	Barnhart Avenue	Sleepy Hollow, NY 10591		15-07-10.5	
	Mario Hernandez	19	Barnhart Avenue	Sleepy Hollow, NY 10591		15-07-10.6	
	Kevin Brennan	64	Howard Street	Sleepy Hollow, NY 10591	4 Union Street, Briarcliff Manor, NY 10510	15-06-0028	
	Carmar Properties Corp c/o T. Fiorenza	62	Howard Street	Sleepy Hollow, NY 10591	36 Andrea Lane, Thornwood, NY 10594	115.11-2-40	
	Catherine Guameri	60	Howard Street	Sleepy Hollow, NY 10591	74 Tysens Lane, Staten Island, NY 10306	15-06-0026	
	Lucia Ackerly	59	Howard Street	Sleepy Hollow, NY 10591		15-05-0008	
	Catello Annichiarico	61	Howard Street	Sleepy Hollow, NY 10591		15-05-0007	
	John Merheb	63	Howard Street	Sleepy Hollow, NY 10591	35 Fairview Avenue, Tarrytown, NY 10591	15-05-0003	
	Anthony Nigro	65	Howard Street	Sleepy Hollow, NY 10591		15-05-0001	
	Salvatore Ferminiele	67	Howard Street	Sleepy Hollow, NY 10591		15-05-0003.A	
	Samuel Martin Kavicky	80	Kendall Avenue	Sleepy Hollow, NY 10591		15-04-0005	
	Kathleen A. Carey	43	Elm Street	Sleepy Hollow, NY 10591		15-06-0005	
	Zoila L. Lester	45	Elm Street	Sleepy Hollow, NY 10591	2407 Edwards Manor Drive, Forest Hills, MD 21050	15-06-0004	
	Dimitrios Papadopoulos	49-1/2	Elm Street	Sleepy Hollow, NY 10591	22 Victoria Avenue Montrose, NY 10548	15-06-0001.A	
	Antonio Iannarelli	51	Elm Street	Sleepy Hollow, NY 10591	9 Doris Lane, Tarrytown, NY 10591	15-06-0001	
	Antonio Iannarelli	49	Elm Street	Sleepy Hollow, NY 10591	9 Doris Lane, Tarrytown, NY 10591	15-06-0002	
	Carlos A. Argueta	44	Elm Street	Sleepy Hollow, NY 10591	21 Barnhart Avenue, Sleepy Hollow, NY 10591	15-10-0032	
	Antonio Demilia	50	Elm Street	Sleepy Hollow, NY 10591		15-10-0031	
	Westchester County Parks	299	Palmer Avenue	Kingsland Point Park, Sleepy	25 Moore Avenue, Mt. Kisco, NY 10549	115.6-1-4	
	Westchester County Parks Commissioner Vincent Castaldo County Office Bldg		Beekman Avenue	Sleepy Hollow, NY 10591	148 Martine Avenue, White Plains, NY 10601	14-27-0001	
	Robert & Rose Malmberg-Gilchrest	58	Hudson Street	Sleepy Hollow, NY 10591	169 E. Loma Alta Drive, Altadena, CA 91001	115.15-1-36	
	Midtown Trackage Ventures, LLC c/o Argent Ventures		Beekman Avenue ROW	Sleepy Hollow, NY 10591		115.15-1-44	

Ruscan Tavern Inc. c/o Stephen Maceyak	226	Beekman Avenue	Sleepy Hollow, NY 10591		115.15-1-37	
Giovanni & Carmelina Volpaccio	212	Beekman Avenue	Sleepy Hollow, NY 10591		115.15-1-43	
Guillermo & Myriam Alvarez	220	Beekman Avenue	Sleepy Hollow, NY 10591		115.15-1-40	
Robert Gilich	218	Beekman Avenue	Sleepy Hollow, NY 10591	22 Gregory Street, Danbury, CT 06811	115.15-1-41	
Humphrey & Dana Newland	56	Hudson Street	Sleepy Hollow, NY 10591		115.15-1-35	
Village of Sleepy Hollow Attn: Anthony Giaccio		River Street	Sleepy Hollow, NY 10591		115.15-1-4	
Hector & Monica Lorca	216	Beekman Avenue	Sleepy Hollow, NY 10591		115.15-1-42	
Village of Sleepy Hollow		Devries Avenue	Sleepy Hollow, NY 10591		115.7-4-13	
Rene & Suzanne Hernandez	25	Barnhart Avenue	Sleepy Hollow, NY 10591		115.11-1-75.3	
Oliverio Ojito & Emelina	27	Barnhardt Avenue	Sleepy Hollow, NY 10591		115.11-1-75.2	
Emma Serina	222	Beekman Avenue	Sleepy Hollow, NY 10591		115.15-1-39	
Sherwin & Gloria Cepin	224	Beekman Avenue	Sleepy Hollow, NY 10591		115.15-1-38	
Louise & Joseph Bracchitta	42	River Street	Sleepy Hollow, NY 10591		115.15-1-2	
Clara Teagle	38	Hudson Street	Sleepy Hollow, NY 10591		115.15-1-28	
Castle North Terminals Inc Co. Castle Oil Corp. Attn: Mr. Paul	11	River Street	Sleepy Hollow, NY 10591		115.15-1-6	
Catherine Fusillo	50	Hudson Street	Sleepy Hollow, NY 10591	45 Hazelton Drive, White Plains, 10605	115.15-1-33	
Jeffrey White & Krista Madsen	42	Hudson Street	North Tarrytown, NY 10591		115.15-1-30	
Rev Lee Thompson	54	Hudson Street	Sleepy Hollow, NY 10591		115.15-1-34	
Helen Manca	40	Hudson Street	Sleepy Hollow, NY 10591		115.15-1-29	
Juana Gonzalez	34	Hudson Street	Sleepy Hollow, NY 10591		115.15-1-26	
Rosetta Pichardo	36	Hudson Street	Sleepy Hollow, NY 10591		115.15-1-27	
Tobi R. White Allen IRV Trust White Trustee	48	Hudson Street	Sleepy Hollow, NY 10591		115.15-1-32	
Catherine Ridenhour	46	Hudson Street	Sleepy Hollow, NY 10591		115.15-1-31	
Yakov & Lilia Tsalalikhin	59	River Street, Unit 101	Sleepy Hollow, NY 10591		16-01-0001.1	
Moon River Realty, LLC	57	River Street	Sleepy Hollow, NY 10591		16-01-0001.100.AB	
Moon River Realty, LLC	53	River Street	Sleepy Hollow, NY 10591		16-01-0001.100.C	
Anne-Isabelle & Richard Hughes	61	River Street, Unit 102	Sleepy Hollow, NY 10591		16-01-0001.102	
Edward & Mara Rosenblum	63	River Street, Unit 103	Sleepy Hollow, NY 10591		16-01-0001.103	
Victor Costa	65	River Street, Unit 104	Sleepy Hollow, NY 10591		16-01-0001.104	
Robert & Kathleen McLoughlin	67	River Street, Unit 105	Sleepy Hollow, NY 10591		16-01-0001.105	
Carlose E. Pozo, Jr.	69	River Street, Unit 106	Sleepy Hollow, NY 10591		16-01-0001.106	
Jeffrey & Debra Friedkin	71	River Street	Sleepy Hollow, NY 10591		16-01-0001.107	
Jonathan Weiss	73	River Street	Sleepy Hollow, NY 10591		16-01-0001.201	
Kenneth C. Ageloff	75	River Street, Unit 202	Sleepy Hollow, NY 10591		16-01-0001.202	
James Berkrot & Michael Staples	77	River Street	Sleepy Hollow, NY 10591		16-01-0001.203	
DDG Realty	5	West Main Street, Suite 209	Elmsford, NY 10523		16-01-0001.204	
Armando Battista	81	River Street	Sleepy Hollow, NY 10591		16-01-0001.205	
Keith Labis & Sean Flynn	83	River Street	Sleepy Hollow, NY 10591		16-01-0001.206	
Robert Traversa	85	River Street	Sleepy Hollow, NY 10591		16-01-0001.207	
Patricia Hollis & James Borteck	3	Tompkins Road	Scarsdale, NY 10583		16-01-0001.208	
Gary Botchman & Darcy Holmes	89	River Street	Sleepy Hollow, NY 10591		16-01-0001.209	
DDG Realty LLC	100	Summit Lake Drive	Valhalla, NY 10595		16-01-0001.210	
DDG Realty LLC	100	Summit Lake Drive	Valhalla, NY 10595		16-01-0001.211	
John Hofheimer & Kai-Chih Wei	95	River Street	Sleepy Hollow, NY 10591		16-01-0001.212	
Paul Vibock	97	River Street	Sleepy Hollow, NY 10591		16-01-0001.213	

	Daniel & Faith McCready	99	River Street	Sleepy Hollow, NY 10591		16-01-0001.301	
	Donald & Douglas Smolev						
	The Marcon Group	100	Summit Lake Drive	Valhalla, NY 10595		16-01-0001.302	
	Eric & Lois Weiss	103	River Street	Sleepy Hollow, NY 10591		16-01-0001.303	
	Susan & Alexander McFarlane	105	River Street	Sleepy Hollow, NY 10591		16-01-0001.304	
	Hagan Wenzek & Vedrana Stojanac	107	River Street	Sleepy Hollow, NY 10591		16-01-0001.305	
	Thomas A. Smart	24	Lone Butte Drive	Santa Fe, NM 87508		16-01-0001.306	
	Andrew & Krystle Roth	111	River Street	Sleepy Hollow, NY 10591		16-01-0001.307	
	Brian A. Pecker SDAC, LLC	9	East 40th Street, Fl 6	New York, NY 10016		16-01-0001.308	
	DDG Realty LLC	100	Summit Lake Drive	Valhalla, NY 10595		16-01-0001.309	
	Dwayne Brown & Nicole Woodard	117	River Street	Sleepy Hollow, NY 10591		16-01-0001.310	
	DDG Realty LLC	100	Summit Lake Drive	Valhalla, NY 10595		16-01-0001.311	
	Mary Martire & Michael Laurissa	121	River Street	Sleepy Hollow, NY 10591		16-01-0001.312	
	Stephen Biale & Nan-Kirsten Forte	123	River Street, Unit 313	Sleepy Hollow, NY 10591		16-01-0001.313	
	Randall Holcombe & Helen Beale-Holcombe	125	River Street	Sleepy Hollow, NY 10591		16-01-0001.401	
	Eleanor Sanzo	127	River Street, Unit 402	Sleepy Hollow, NY 10591		16-01-0001.402	
	Stella Treiberman	129	River Street, Unit 403	Sleepy Hollow, NY 10591		16-01-0001.403	
	John & Kristina Lambros	131	River Street, Unit 404	Sleepy Hollow, NY 10591		16-01-0001.404	
	Peter & Ulrike Faulhaber	133	River Street, Unit 405	Sleepy Hollow, NY 10591		16-01-0001.405	
	Irvina Rybina & Vitalyi Rubin	135	River Street, Unit 406	Sleepy Hollow, NY 10591		16-01-0001.406	
	John Peros	37	East Clinton Avenue	Irvington, NY 10533	3 Dogwood Dr. Saddle River, NJ 07458-3007	16-01-0001.407	
	Thomas & Karen Hutcherson	139	River Street, Unit 408	Sleepy Hollow, NY 10591		16-01-0001.408	
	Roberto Dominguez & Maribel Correa	141	River Street, Unit 409	Sleepy Hollow, NY 10591		16-01-0001.409	
	Michael & Alicia Santocki	143	River Street, Unit 410	Sleepy Hollow, NY 10591		16-01-0001.410	
	Alan & Susan Singer	145	River Street, Unit 411	Sleepy Hollow, NY 10591		16-01-0001.411	
	Union Free School District of the Tarrytowns	200	North Broadway	Tarrytown, NY 10591			
	Pocantico Hills Central School District	599	Bedford Road	Sleepy Hollow, NY 10591			
	Village of Tarrytown	1	Depot Plaza	Tarrytown, NY 10591			
	Village of Briarcliff Manor	1111	Pleasantville Road	Briarcliff Manor, NY 10510			
	Town of Mount Pleasant	1	Town Hall Plaza	Valhalla, NY 10595			
	Town of Greenburgh	177	Hillside Avenue	White Plains, NY 10607			
	Westchester County Dept. of Planning	148	Martine Avenue, Room 433	White Plains, NY 10601			
	NYS DEC	100	Hillside Avenue	White Plains, NY 10603			
	NYCDEP	465	Columbus Avenue	Valhalla, NY 10595			
	NYS Office of Parks, Recreation and Historic Preservation		Empire State Plaza, Agency Building 1	Albany, NY 12238			

AFFIDAVIT OF OWNERSHIP

STATE OF CALIFORNIA)

SS:

COUNTY OF ORANGE)

Bruce V. Cook, being duly sworn deposes and says that he resides at 25042 Farrier Circle, Laguna Hills in the County of Orange, State of California and that he is the Authorized Signatory of Lighthouse Landing Ventures LLC which is the owner in fee of all the property described as Section/Block/Lot 115.10-1-1 (West Parcel) and Section/Block/Lot 115.15-1-1 (South Parcel) located at 199 Beekman Avenue in the Village of Sleepy Hollow, NY, and authorizes herein the submission of the application to the Planning Board for approval. That said Lighthouse Landing Ventures LLC acquired title to said premises by deed from Town of Mount Pleasant Industrial Development Agency recorded in the Office of the Westchester County Clerk on December 24, 2014, Control No. 543173351. The deponent affirms that the statements contained herein are true to the best of deponent's knowledge and belief, and are made for the purpose of obtaining the approval of the submitted application.

Signed By Owner of Corporation



With capacity as

Title

Authorized Signator


of

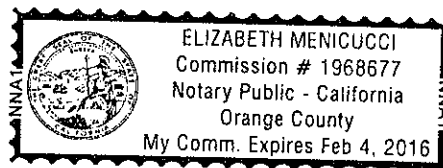
Name of Corporation

Lighthouse Landing Ventures LLC

Subscribed and sworn to before me this 26th

Day of February, 2015


(Notary) Public)

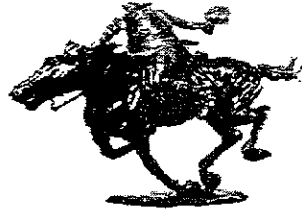


Village of Sleepy Hollow

Kenneth G. Wray
Mayor
(914) 366-5107

Jennifer Lobato-Church
Deputy Mayor
(914) 366-5107

TRUSTEES
Bruce R. Campbell
Dorothy Handelman
Glenn Rosenbloom
Evelyn R. Stupel
Karin Wompa
(914) 366-5107



1874
More than a Legend

28 Beekman Avenue
Sleepy Hollow, New York 10591
(914) 366-5100 · Fax (914) 332-7074
www.sleepyhollowny.gov

Anthony P. Giaccio
Village Administrator
(914) 366-5105

Paula A. McCarthy
Village Clerk
(914) 366-5106

Sara A. DiGiacomo
Village Treasurer
(914) 366-5144

Janet Gandolfo
Village Attorney
(914) 366-5107

December 21, 2014

Westchester County Clerk
110 Dr. Martin Luther King Jr. Boulevard
White Plains, NY 10601

RE: Premises: GM Site, Beekman Avenue, Sleepy Hollow, NY
Village: Village of Sleepy Hollow
S/B/L: Section 15 Block 01 Lot 0001

Dear Clerk:

This is to certify that, pursuant to Chapter 605 of the Laws of 1985, Section 1, there are no taxes levied and unpaid and no taxes which are a lien prior to the date hereof against the above referenced premise.

Please feel free to contact me with any questions.

Sincerely,

Sara A. DiGiacomo
Village Treasurer



Rochester-Home Office
Old City Hall 30 West Broad Street Suite 100 Rochester, NY 14614
Ph: 585-955-6111 Fax: 585-955-6175
www.FrontierAbstract.com

December 19, 2014

Westchester County Clerk
110 Dr. Martin Luther King Junior Boulevard
White Plains, NY 10601

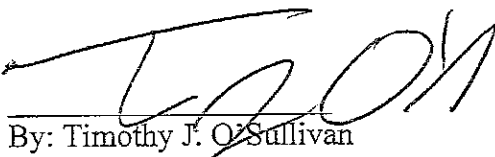
RE: Title No.: 5066466
Premises: GM Site, Beekman Avenue, Sleepy Hollow, NY
Town: Town of Mount Pleasant
S/B/L: Section 115.11 Block 1 Lot 2-and-Section 115.11 Block 1 Lot 85

Dear Clerk:

This is to certify that, pursuant to Chapter 605 of the Laws of 1985, Section 1, there are no taxes levied and unpaid and no taxes which are a lien prior to the date hereof against the above referenced premises.

Please feel free to contact me with any questions.

Very truly yours,
Frontier Abstract and Research Services, Inc.


By: Timothy J. O'Sullivan
Vice President

Buffalo-Branch Office
Convention Towers Bldg
43 Court Street
Suite 710
Buffalo, NY 14202
Tel: 716-856-0868
Fax: 716-856-0868

Capital District-Branch Office
1218 Union Street
Schenectady, NY 12308
Tel: 518-339-2104
Fax: 866-547-7363

Syracuse-Branch Office
224 Harrison Street
Suite 214
Syracuse, NY 13202
Tel: 315-478-3163
Fax: 315-478-2942

Royal Abstract of New York LLC

500 Fifth Avenue, Suite 1540, New York, NY 10110
(212) 376-0900 Fax # (212) 376-0912

December 18, 2014

Westchester County Clerk
110 Dr. Martin Luther King Junior Boulevard
White Plains, NY 10601


RE: Title No.: 906476
Premises: GM Site, Beekman Avenue, Sleepy Hollow, NY
Town: Town of Mount Pleasant
S/B/L: Section 115.10 Block 1 Lot 1 -and- Section 115.15 Block 1 Lot 1

Dear Clerk:

This is to certify that, pursuant to Chapter 605 of the Laws of 1985, Section 1, there are no taxes levied and unpaid and no taxes which are a lien prior to the date hereof against the above referenced premises.

Please feel free to contact me with any questions.

Very truly yours,
Royal Abstract of New York LLC

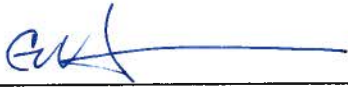


By: Michael Roberts, Esq.
Vice President and Counsel

May 6, 2015

§190-4(H) Project Engineer's Certificate

I, Gerhard M. Schwalbe, P.E. affix my signature and seal as a sign of approval of the proposed site plan. The proposed operation and the finished grades of the premises after completion thereof will not interfere with or overload any existing or planned drainage facilities of the Village and will not cause erosion or other problems, will not cause water to accumulate and will not result in the outpouring of water or otherwise have an adverse effect on any thoroughfares or on the lateral stability or drainage of adjoining properties, and is not contrary to the policy of §190-1.



Signature

5/6/15

Date



**LIGHTHOUSE LANDING VENTURE LLC
1270 AVENUE OF THE AMERICAS
NEW YORK, NY 10020**

**VILLAGE OF SLEEPY HOLLOW APPLICATION FOR
SITE PLAN AND SUBDIVISION APPROVAL**

LIST OF FULL SIZE DRAWINGS

VI. FULL-SIZE DRAWINGS (Attached)

- SP-0.1 Phase 1 Site Plan
- SP-1.1-SP-1.3 Phase 1 Layout Plan
- SP-2.1-SP-2.3 Phase 1 Grading & Drainage
- SP-3.1-SP-3.3 Phase 1 Utility Plan
- SP-4.1-SP-4.3 Phase 1 Landscape Plan
- SP-5.1-SP-5.3 Road Profiles
- SP-6.1-SP-6.3 Utility Profiles
- SP-7.1-SP-7.3 Erosion & Sediment Control Plans
- SP-7.4 Erosion & Sediment Control Details
- SP-8.1-SP-8.3 Site Details
- EX-1.1-EX-1.3 Existing Conditions Plans



EDGE-ON-HUDSON

PHASE 1 SITE PLAN APPROVAL APPLICATION: ARCHITECTURE

May 1, 2015

HART | HOWERTON | Lighthouse Landing Venture, LLC

TAB 2





EDGE-ON-HUDSON

BLOCK I





Metal Awning



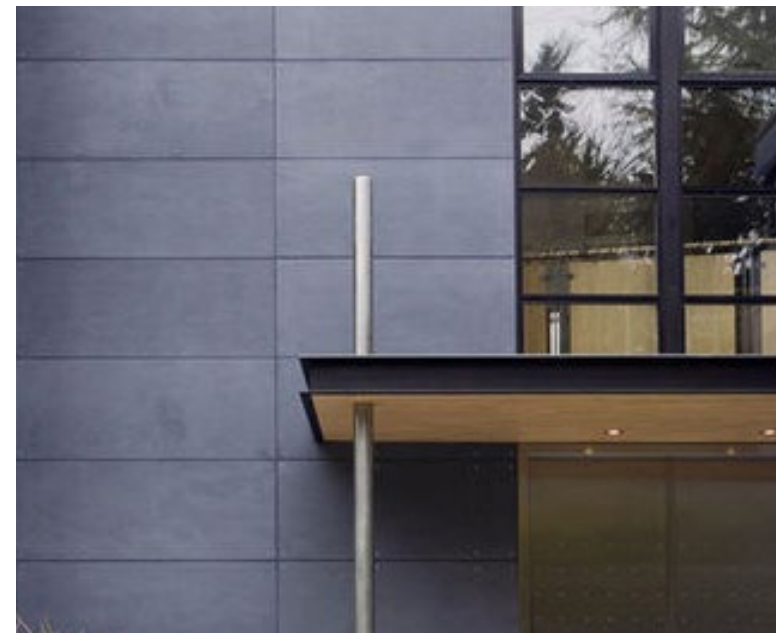
Brick Details



Juliet Balconies



Cementitious Siding / Panel



Ceramic / Metal panels

Images may be subject to usage restrictions.

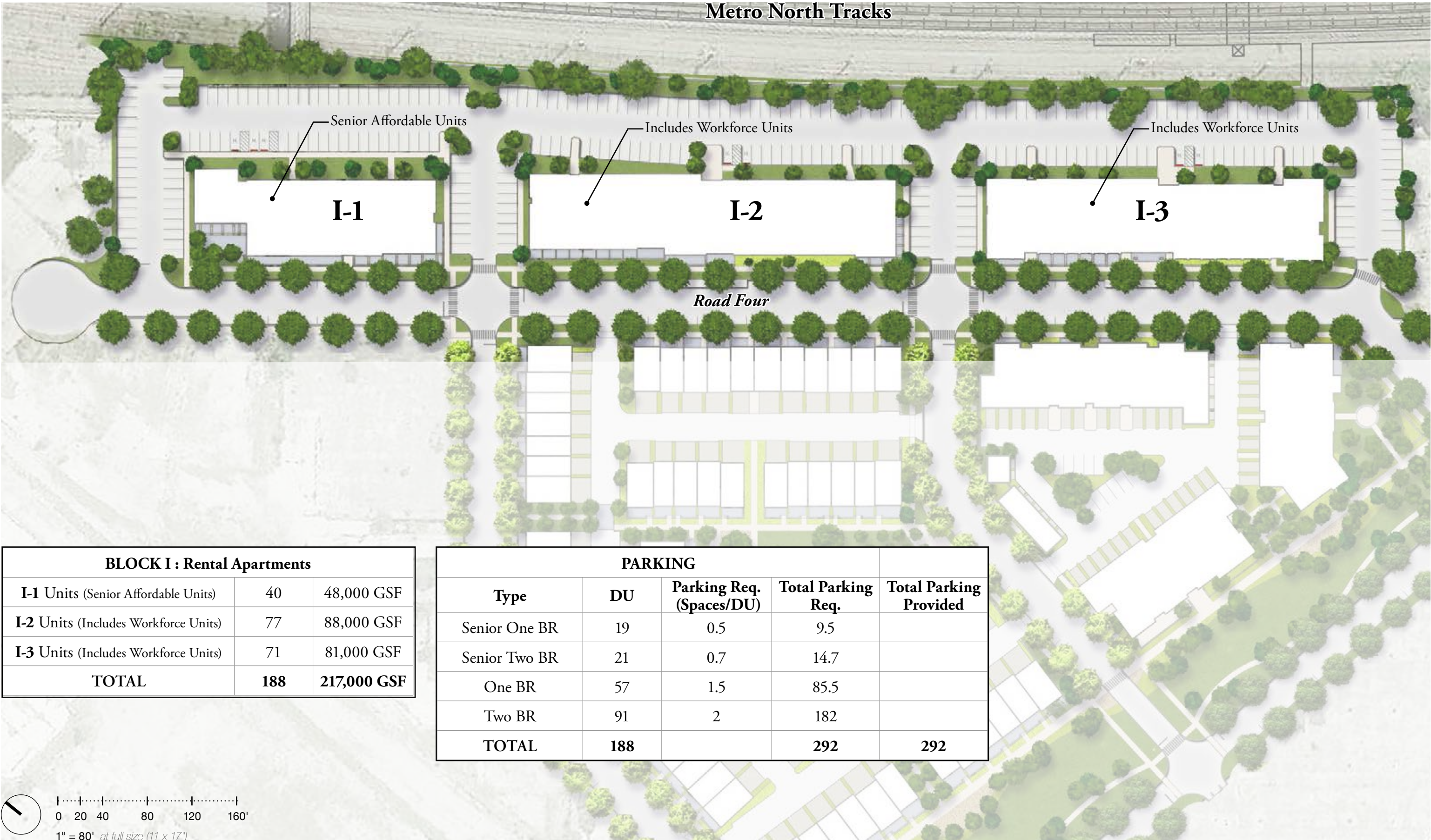
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Block I "Loft Style"

May 1, 2015

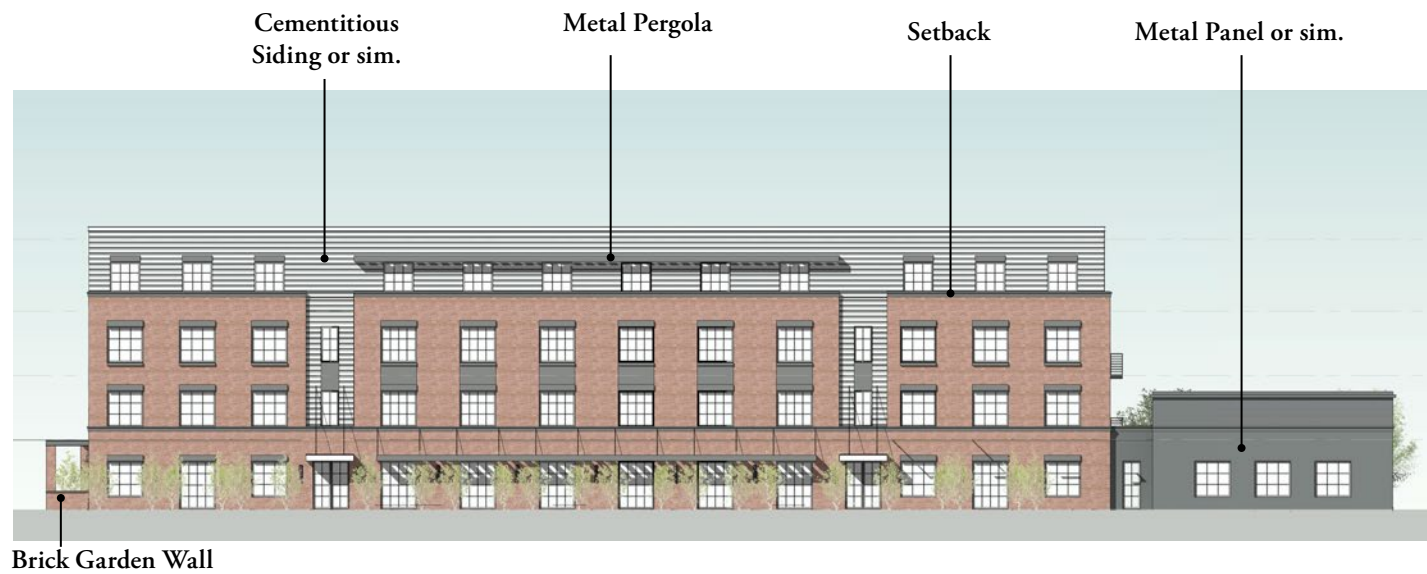


BLOCK I : Rental Apartments		
I-1 Units (Senior Affordable Units)	40	48,000 GSF
I-2 Units (Includes Workforce Units)	77	88,000 GSF
I-3 Units (Includes Workforce Units)	71	81,000 GSF
TOTAL	188	217,000 GSF

PARKING				
Type	DU	Parking Req. (Spaces/DU)	Total Parking Req.	Total Parking Provided
Senior One BR	19	0.5	9.5	
Senior Two BR	21	0.7	14.7	
One BR	57	1.5	85.5	
Two BR	91	2	182	
TOTAL	188		292	292



West Elevation



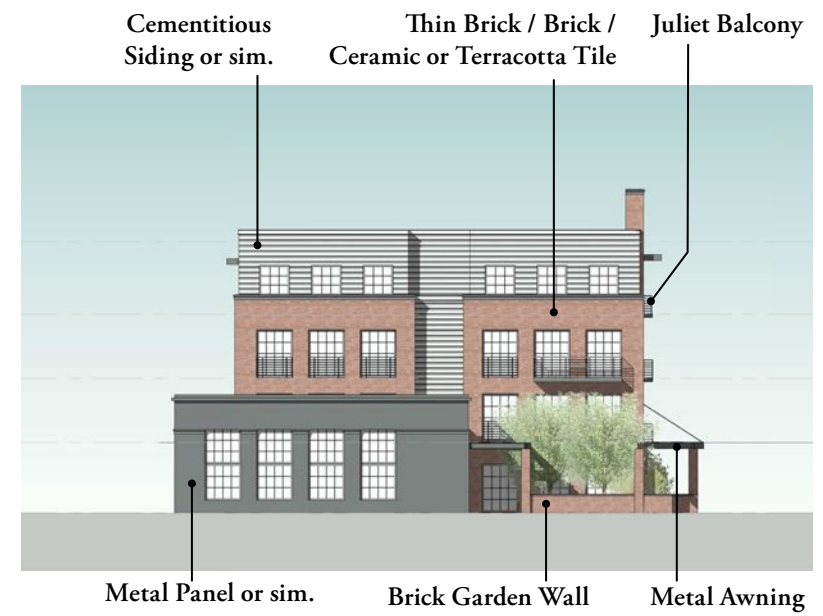
East Elevation

0 20 40 60 80'

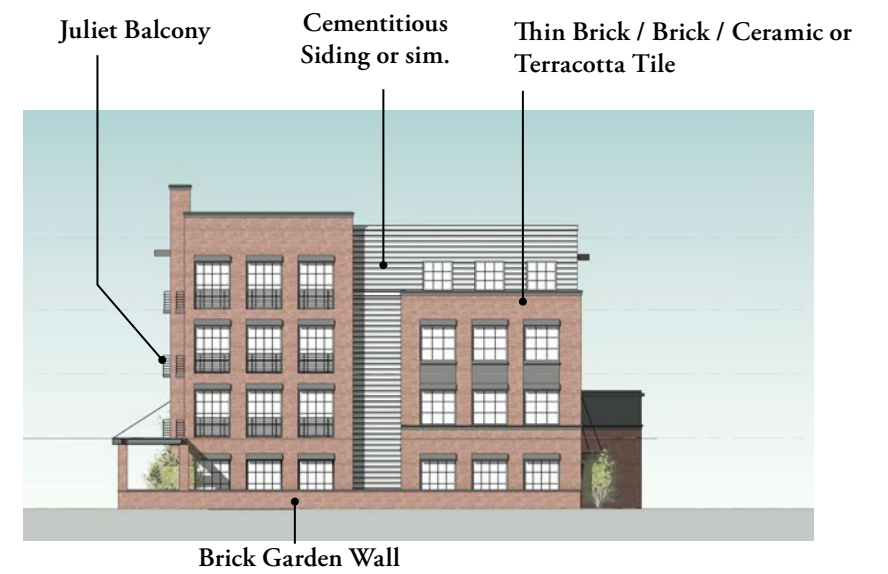
1/32" = 1'-0" at full size (11 x 17")

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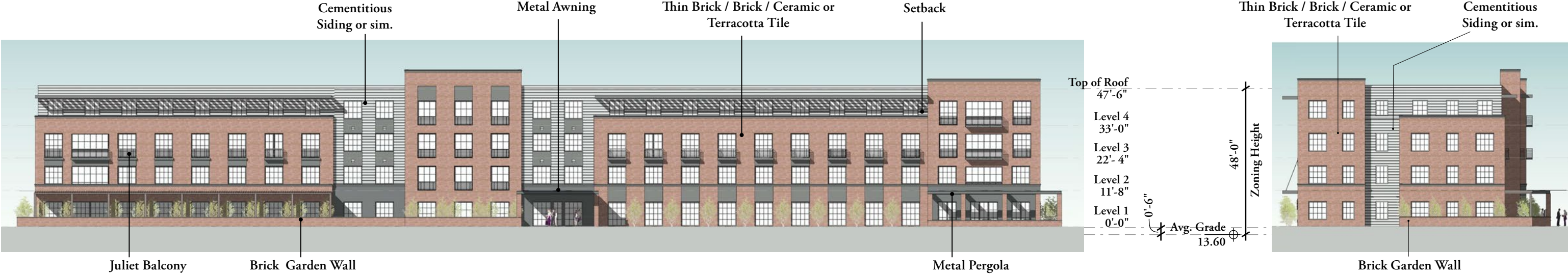
North Elevation



South Elevation

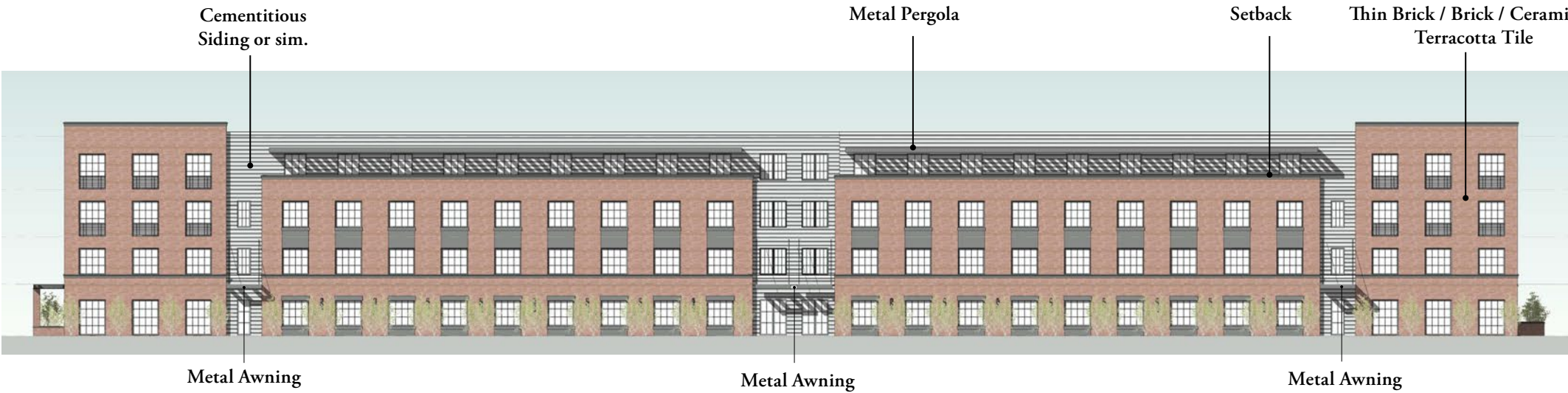
Building I-1 Elevations

May 1, 2015

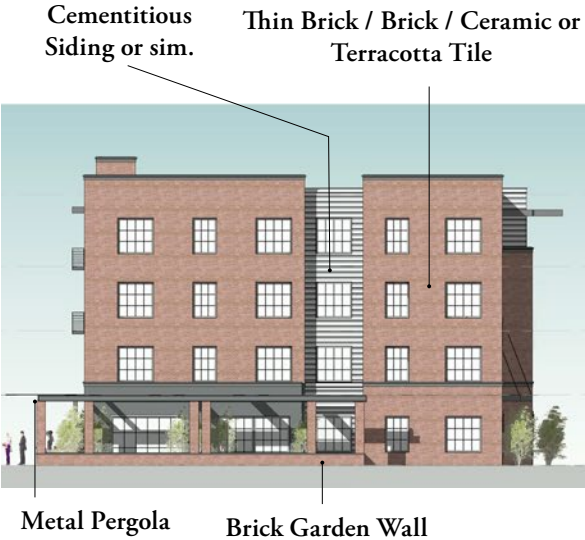


West Elevation

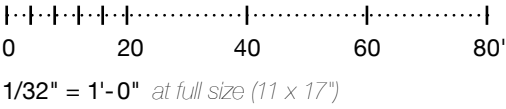
North Elevation

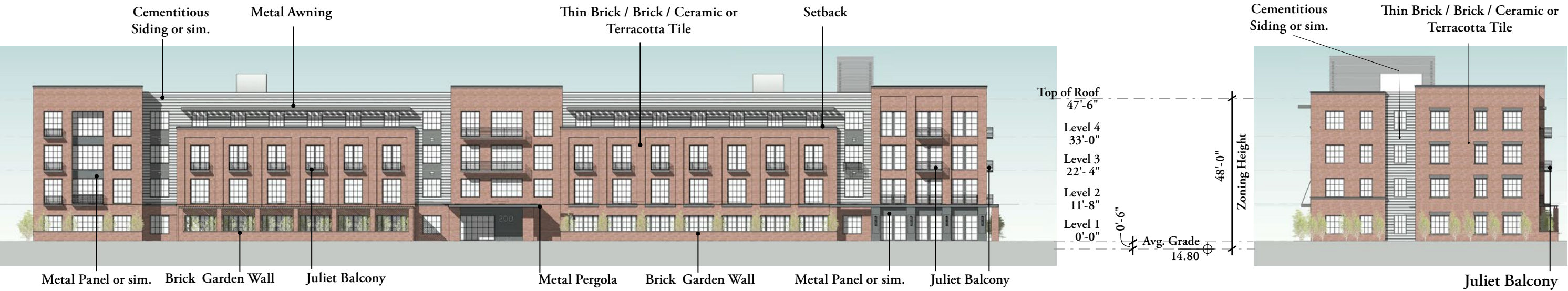


East Elevation



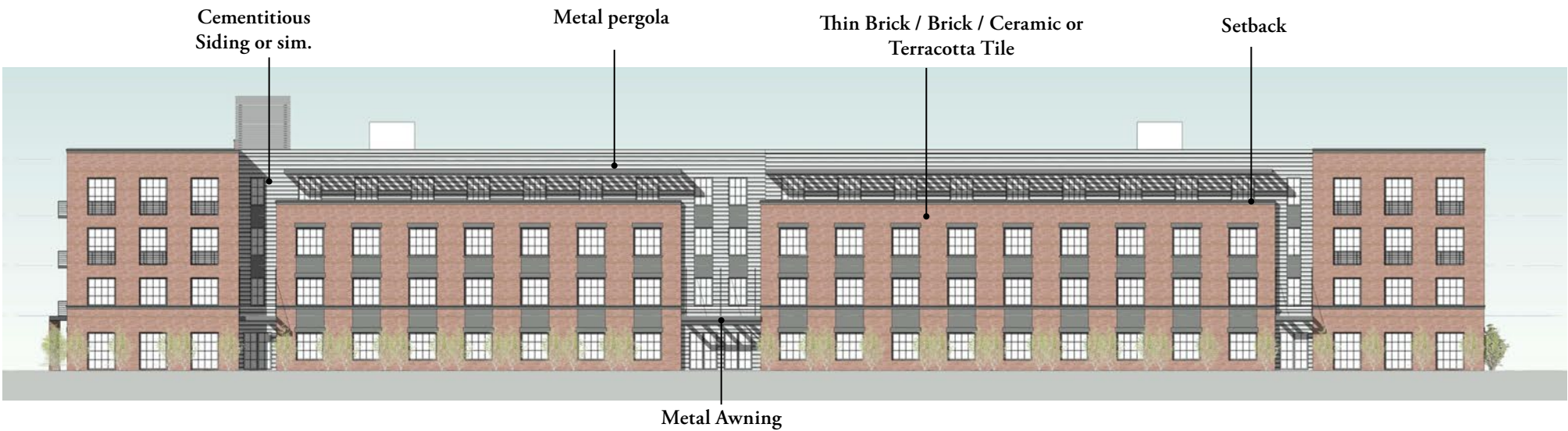
South Elevation



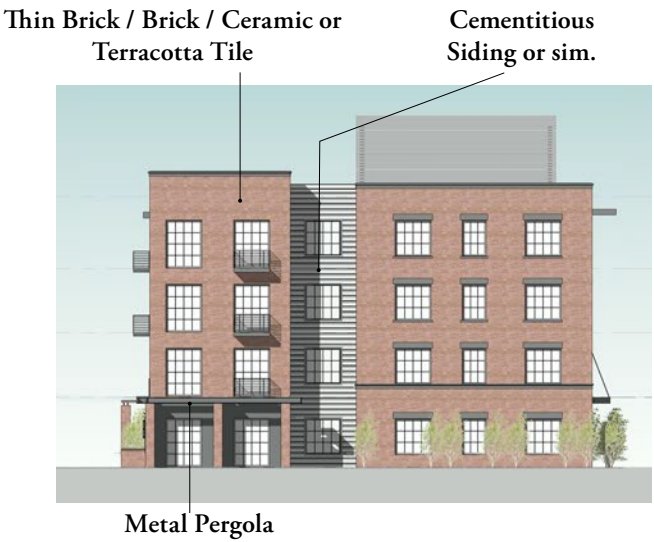


West Elevation

North Elevation

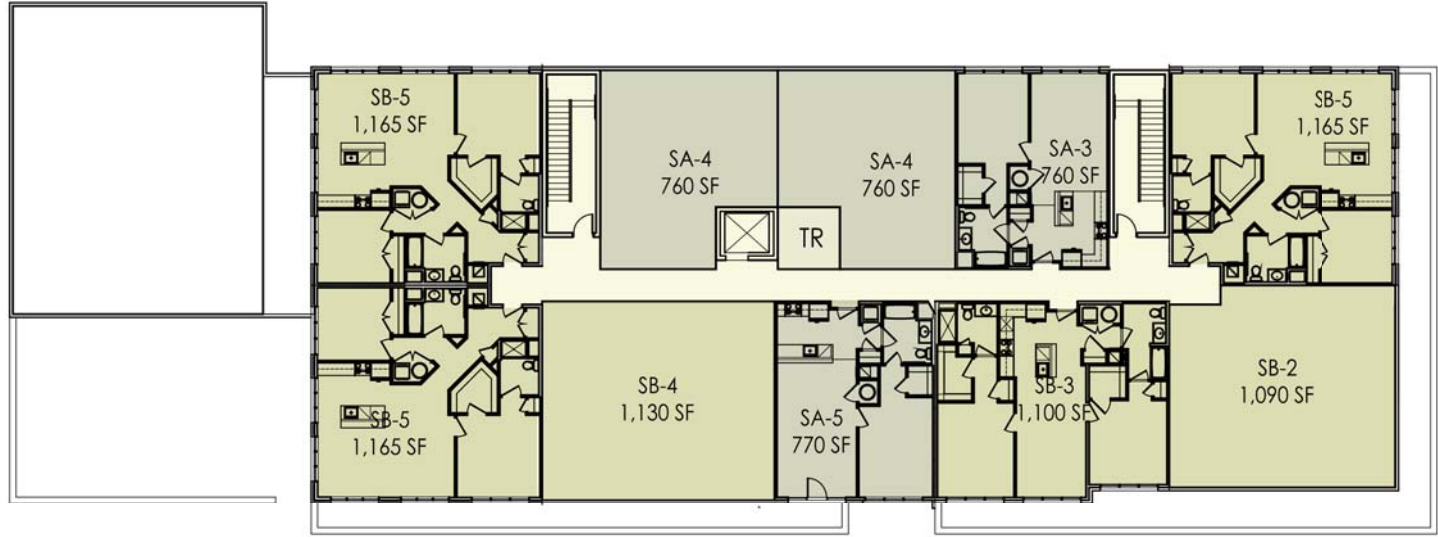


East Elevation

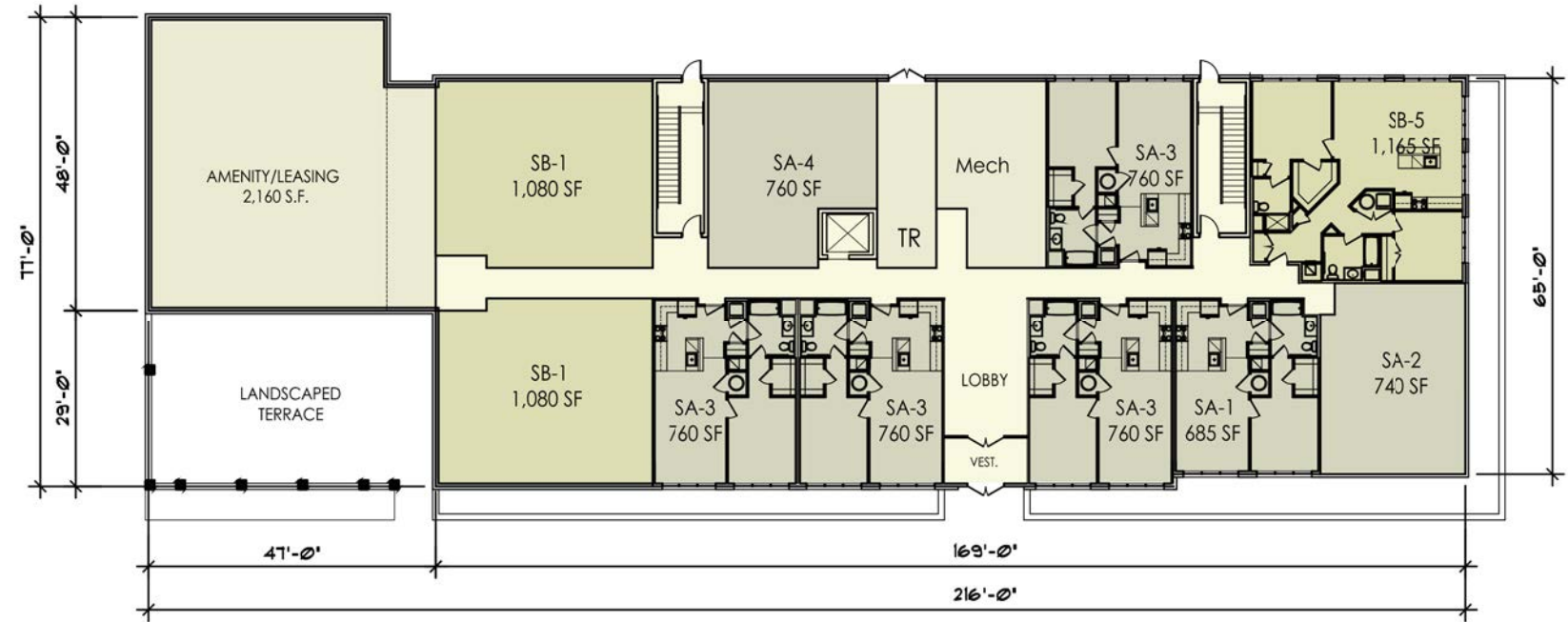


South Elevation



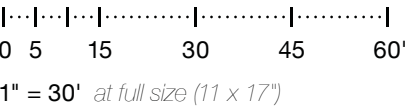


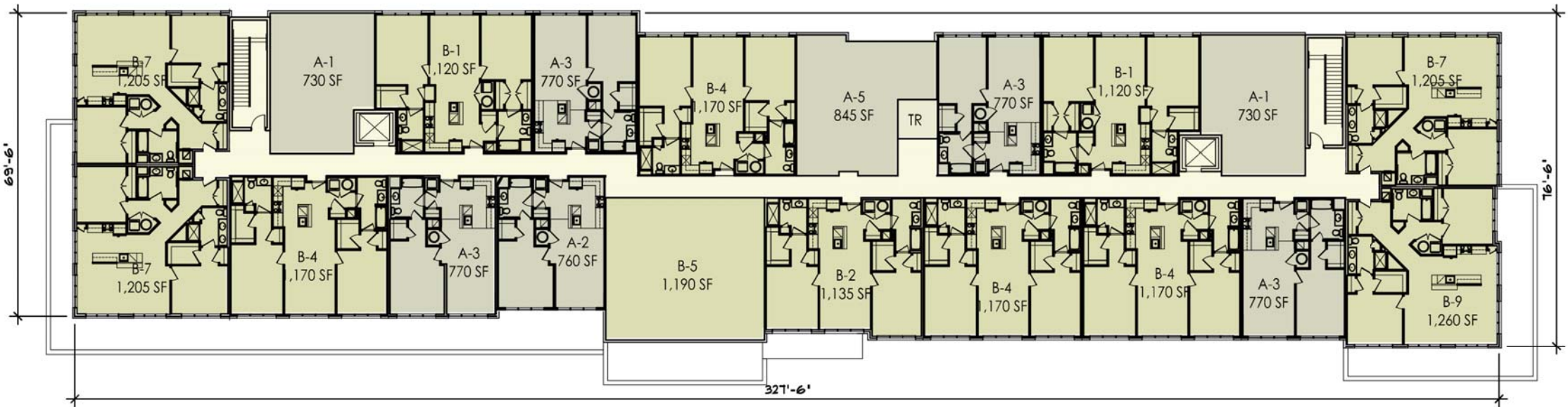
Typical Floor 2-4



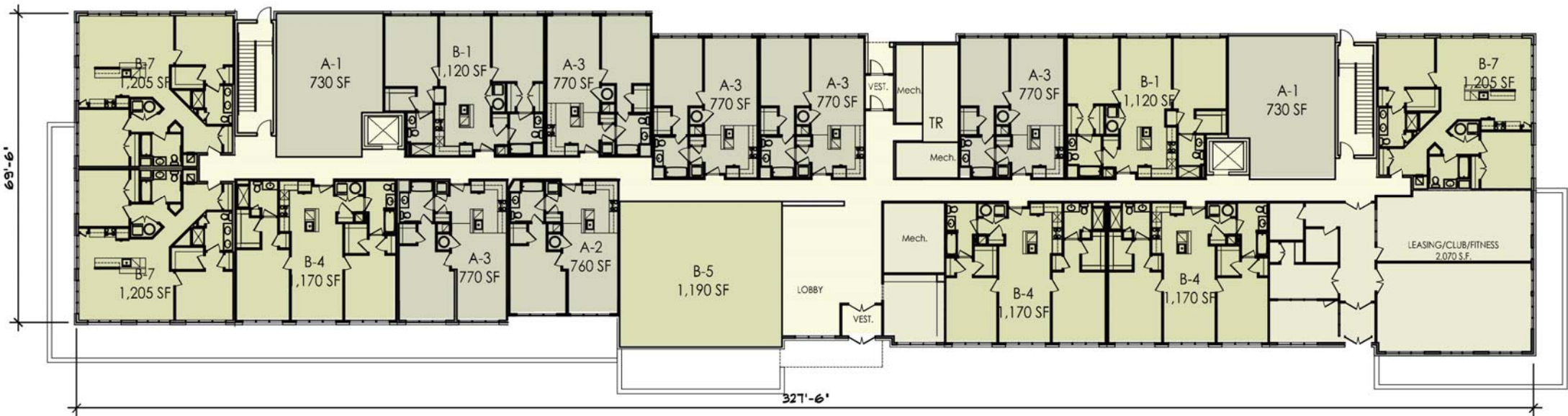
Ground Floor

Building I-1/ Unit mix								
BR	Desig	Fl. Area	1st Fl	2nd Fl	3rd Fl	4th Fl	Total	Notes
1 BR	SA-1	685	1				1	
	SA-2	740	1				1	
	SA-3	760	4	1	1	1	7	
	SA-4	760	1	2	2	2	7	
	SA-5	770		1	1	1	3	
Total 1BR							19	
2 BR	SB-1	1080	2				2	
	SB-2	1090		1	1	1	3	
	SB-3	1100		1	1	1	3	
	SB-4	1130		1	1	1	3	
	SB-5	1165	1	3	3	3	10	
Total 2 BR							21	
					Total DU		40	
Leasing/Club/Fitness 2,160s.f.								



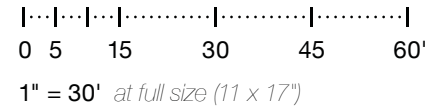


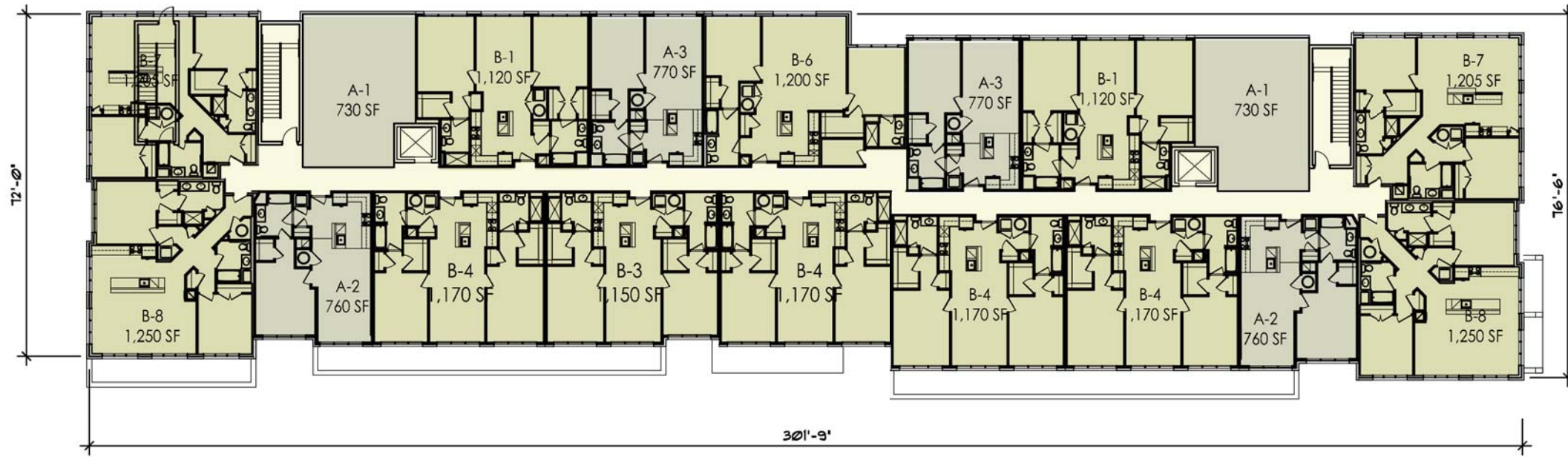
Typical Floor 2-4



Ground Floor

Building I-2/ Unit mix							
BR	Desig	Fl. Area	1st Fl	2nd Fl	3rd Fl	4th Fl	Total
1 BR	A-1	730	2	2	2	2	8
	A-2	760	1	1	1	1	4
	A-3	770	5	4	4	4	17
	A-4	780					0
	A-5	845		1	1	1	3
Total 1BR							32
2 BR	B-1	1120	2	2	2	2	8
	B-2	1135		1	1	1	3
	B-3	1150					0
	B-4	1170	3	4	4	4	15
	B-5	1190	1	1	1	1	4
	B-6	1200					0
	B-7	1205	3	3	3	3	12
	B-8	1250					0
	B-9	1260		1	1	1	3
Total 2 BR							45
Amenity 2,070 s.f.			Total DU				77

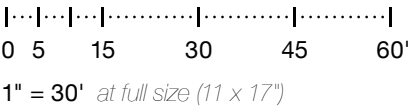




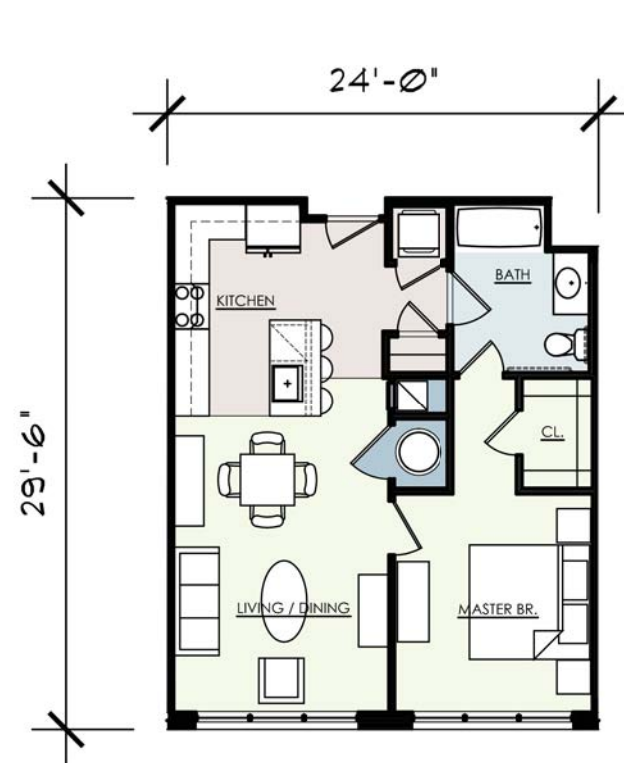
Typical Floor 2-4



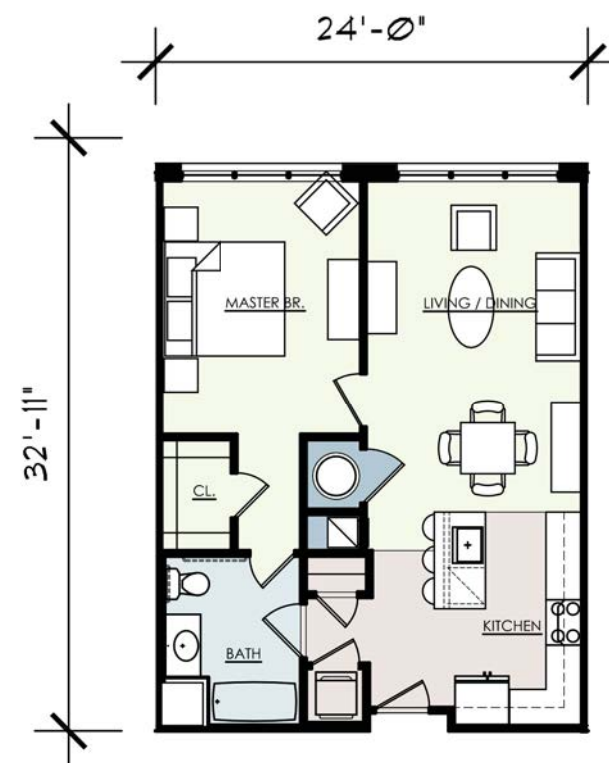
Ground Floor



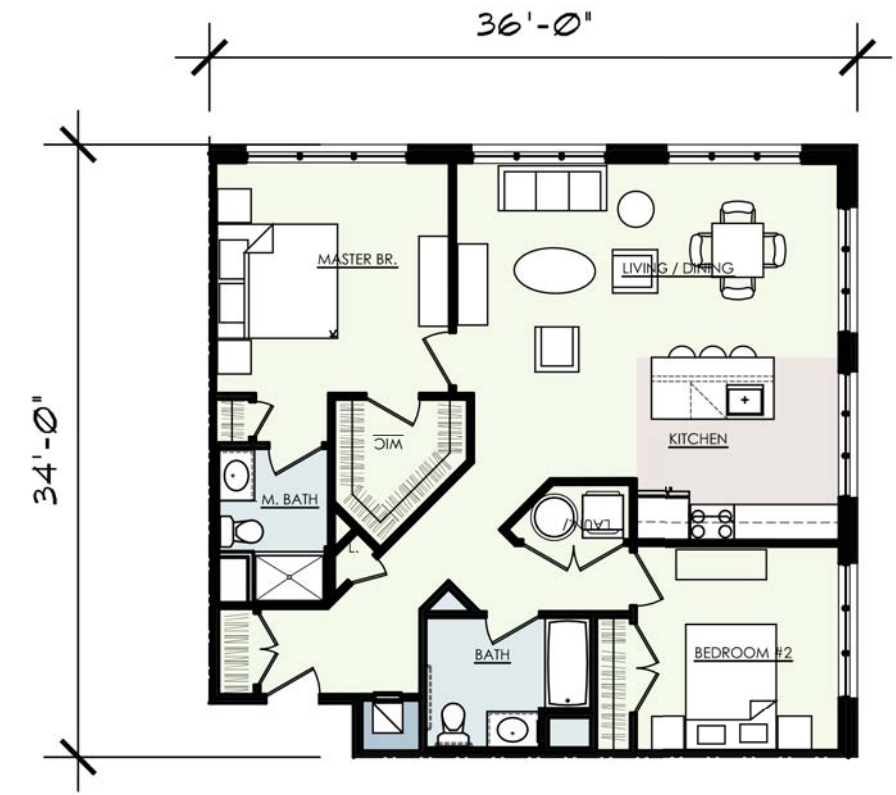
Building I-3/ Unit mix						
BR	Desig	Fl. Area	1st Fl	2nd Fl	3rd Fl	4th Fl
1 BR	A-1	730	2	2	2	2
	A-2	760	2	2	2	2
	A-3	770	3	2	2	2
	A-4	780				
	A-5	845				
Total 1BR						25
2 BR	B-1	1120	2	2	2	2
	B-2	1135				
	B-3	1150	1	1	1	1
	B-4	1170	3	4	4	4
	B-5	1190				
	B-6	1200		1	1	1
	B-7	1205	2	2	2	2
	B-8	1250	2	2	2	2
	B-9	1260				
Total 2 BR						46
Total DU						71



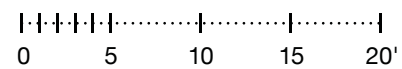
SA-1 One Bedroom
685 SF



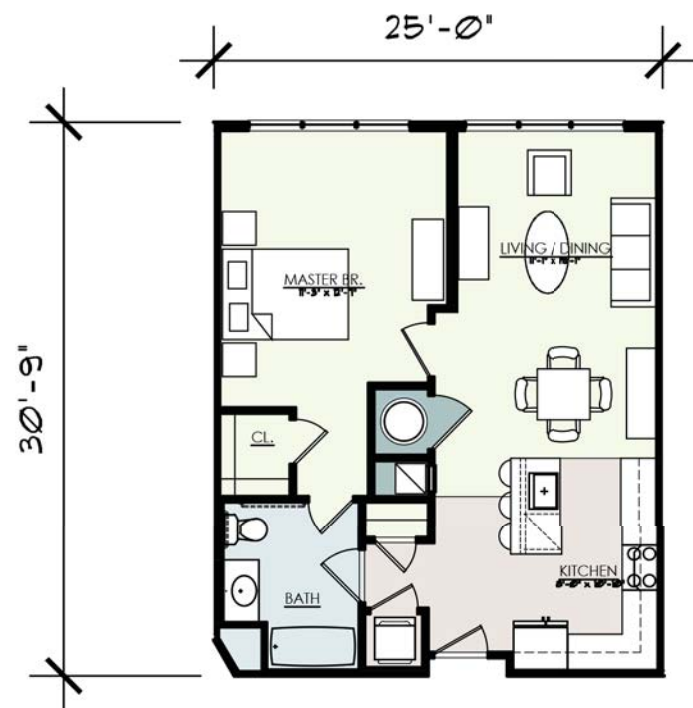
SA-3 One Bedroom
760 SF



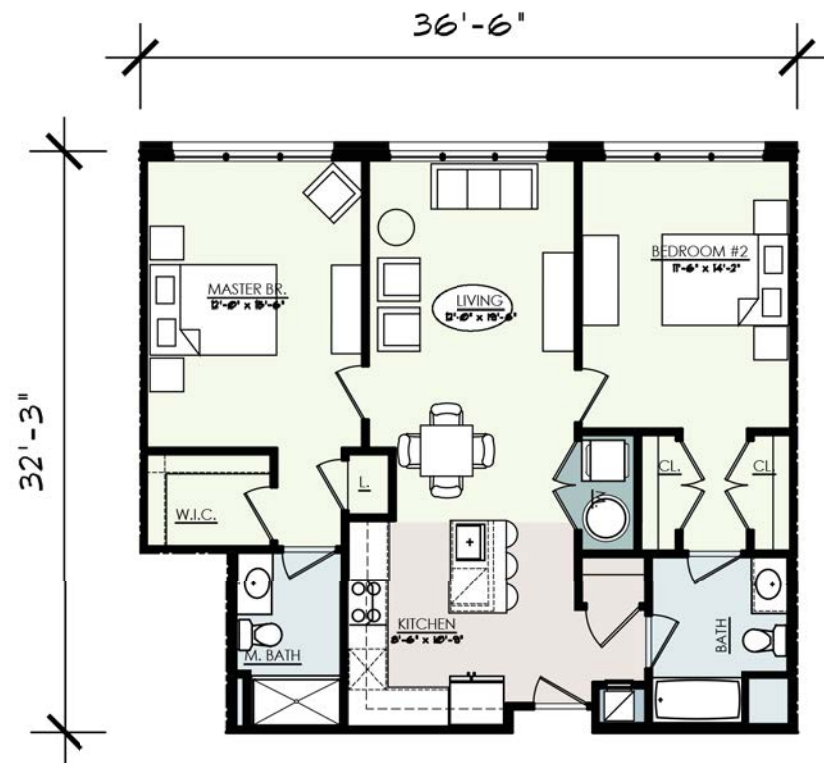
SB-5 Two Bedroom
1165 SF



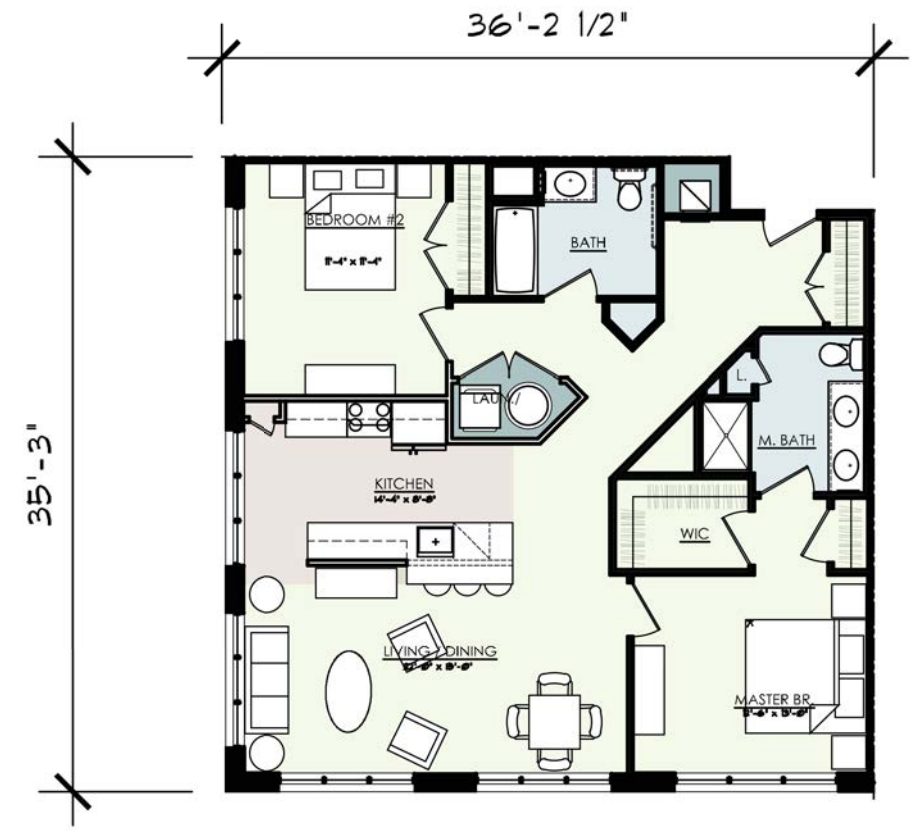
3/32" = 1'-0" at full size (11 x 17")



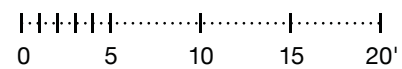
A-2 One Bedroom
760 SF



B-1 Two Bedroom
1120 SF



B-7 Two Bedroom
1205 SF



3/32" = 1'-0" at full size (11 x 17")



EDGE-ON-HUDSON

BLOCK E





Brick cladding with pilasters



Casement window



Metal Brise soleil



Stone veneer

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Block E "Central Park Style"

May 1, 2015



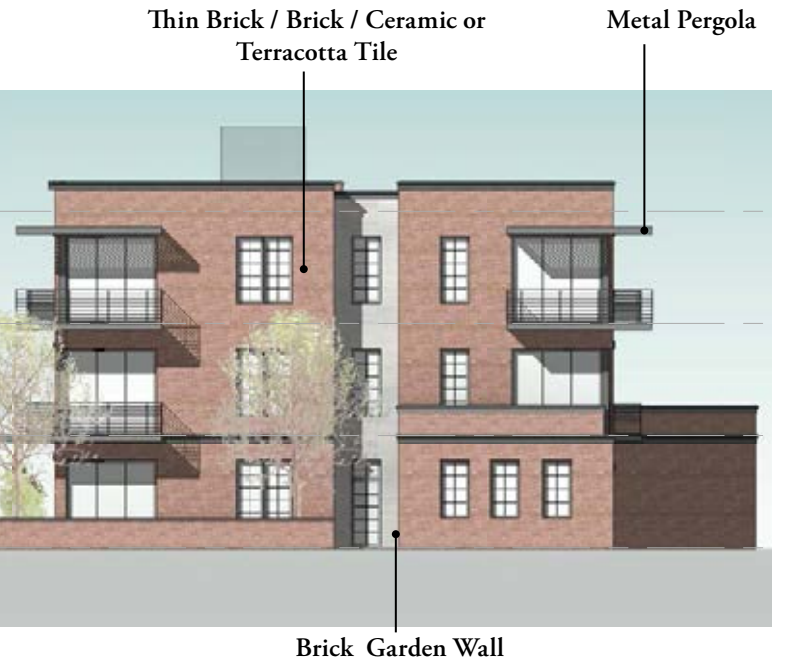
BLOCK E : Condominium Units		
E-1 Units	17	27,000 GSF
E-2 Units	14	29,000 GSF
E-3 Units	15	29,000 GSF
TOTAL	46	85,000 GSF

PARKING REQUIRED			
Type	DU	Parking Req. (Spaces/DU)	Total Parking Req.
One BR	9	1.5	13.5
Two BR	34	2	68
Three BR	3	2.5	7.5
TOTAL	46		89

PARKING PROVIDED	
Type	Parking provided
Surface	45
Garage	46
TOTAL	91



Front Elevation



Side Elevation



Rear Elevation



Side Elevation

0 5 10 20 30 40'
 1" = 20' at full size (11 x 17")

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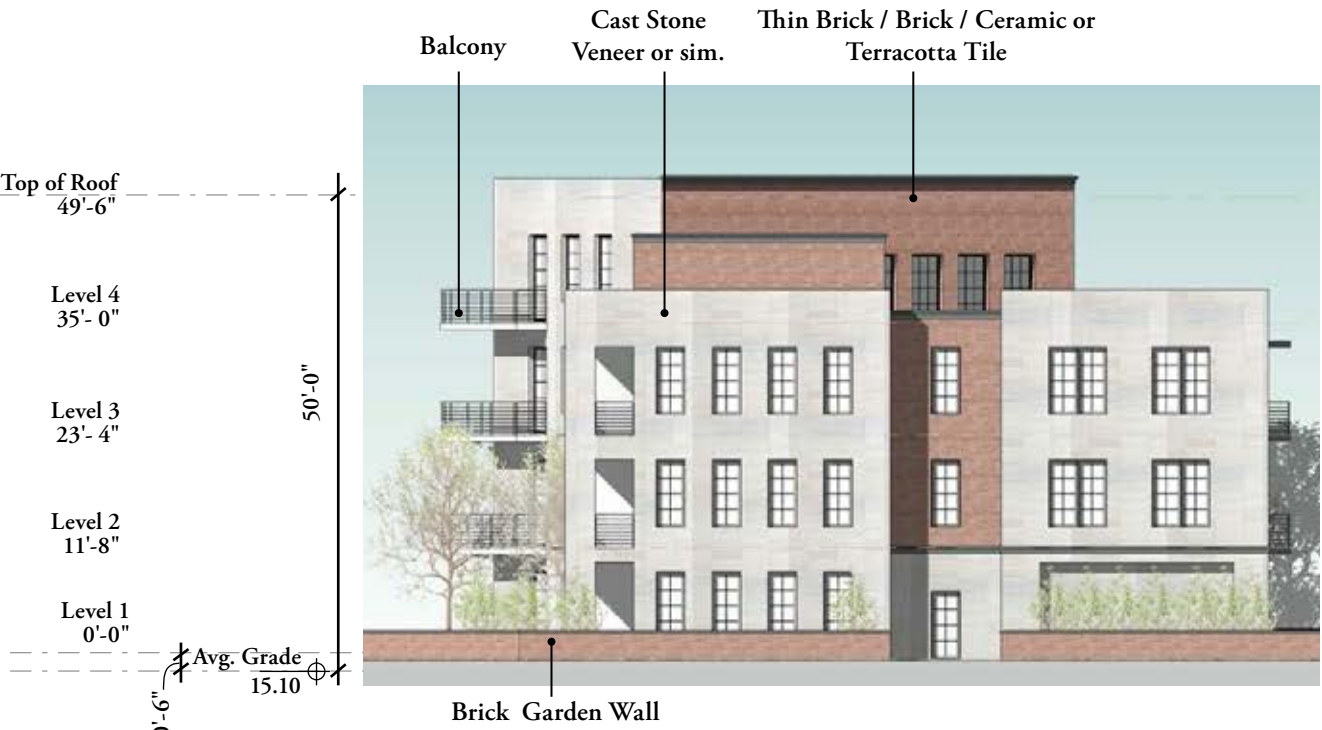


Building E- 1 Elevations

May 1, 2015



Front Elevation



Side Elevation



Rear Elevation



Side Elevation

0 5 10 20 30 40'
1" = 20' at full size (11 x 17")



Front Elevation



Side Elevation



Rear Elevation



Side Elevation

0 5 10 20 30 40'

1" = 20' at full size (11 x 17")

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Building E-3 Elevations

May 1, 2015



Second Floor

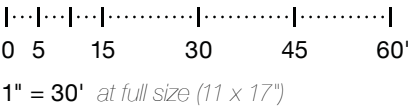


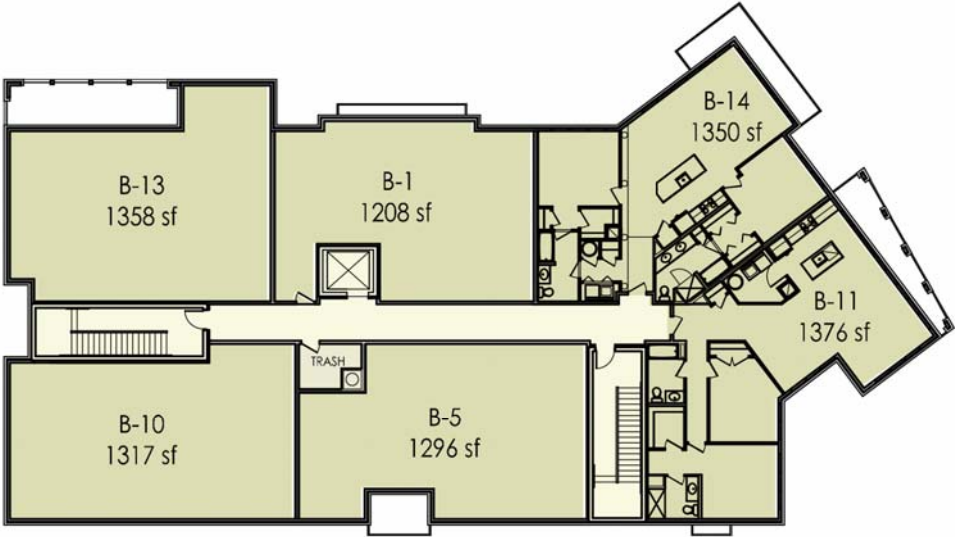
Third Floor



Ground Floor

Building E1/ Unit Mix							
BR	Desig	Fl. Area	1st Fl	2nd Fl	3rd Fl	Total	Notes
1 BR	A-1	721	2	0	0	2	
	A-3	809		2	2	4	
	Total 1BR					6	
2 BR	B-3	1255	2	2	2	6	
	B-6	1257		1		1	
	B-7	1292		2	2	4	
Total 2BR						11	
15 Garage Spaces					Total DU	17	





Second Floor

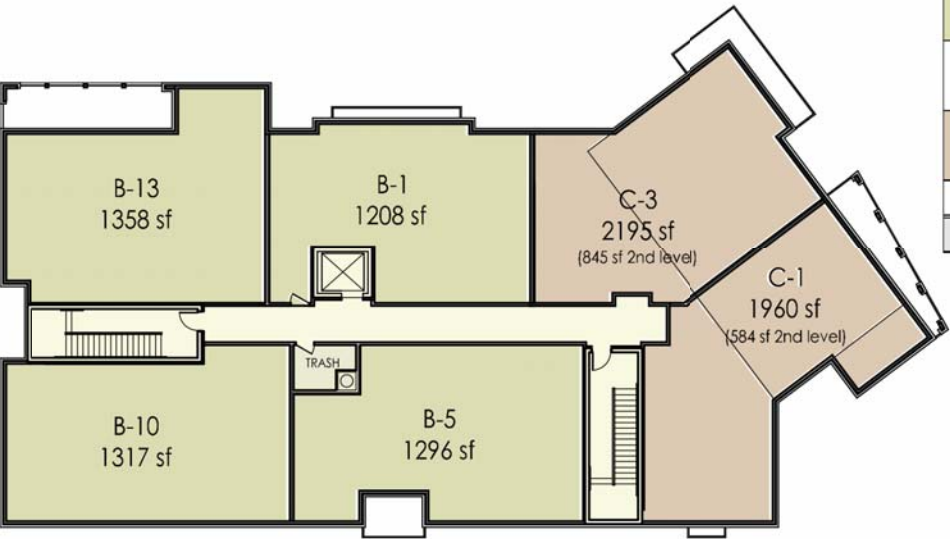


Roof

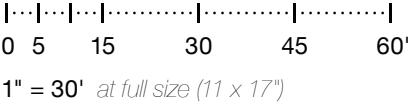
Building E2/ Unit Mix							
BR	Desig	Fl. Area	3rd/			Total	Notes
			1st Fl	2nd Fl	4th Fl		
2 BR	B-1	1208		1	1	2	
	B-5	1296		1	1	2	
	B-10	1317		1	1	2	
	B-11	1376		1		1	
	B-13	1358	1	1	1	3	
	B-14	1350	1	1		2	
Total 2 BR						12	
3 BR	C-1	1960			1	1	Loft
	C-3	2195			1	1	Loft
Total 3 BR						2	
9 Garage Spaces						Total DU	14



Ground Floor

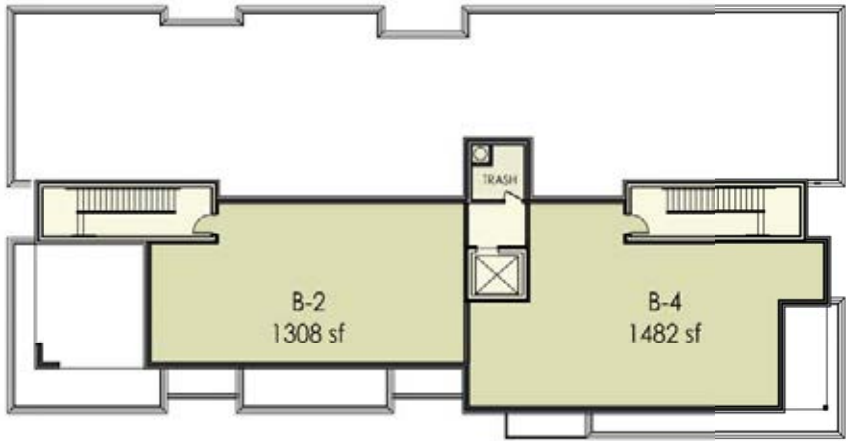


Third Floor





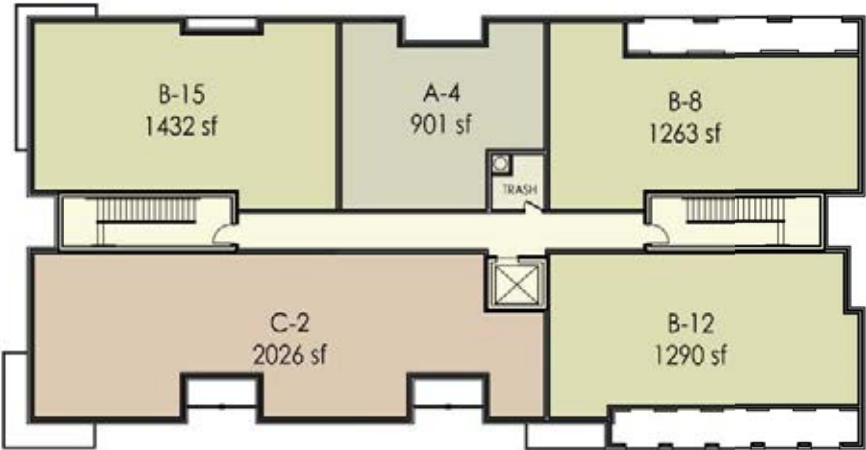
Second Floor



Fourth Floor

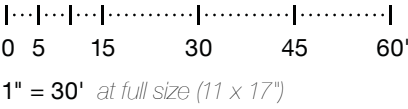


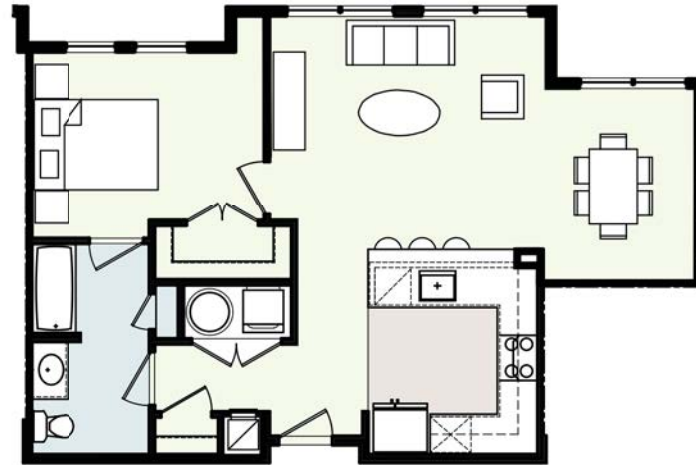
Ground Floor



Third Floor

Building E3/ Unit Mix							
BR	Desig	Fl. Area	1st Fl	2nd Fl	3rd/ 4th Fl	Total	Notes
1 BR	A-2	805		1		1	
	A-4	901		1	1	2	
	Total 1 BR						3
2 BR	B-2	1308			1	1	
	B-4	1482			1	1	
	B-8	1263		1	1	2	
	B-9	1347	1	1		2	
	B-12	1290	1			1	
	B-15	1432		2	2	4	
	Total 2 BR						11
3 BR	C-2	2026			1	1	
	Total 3 BR						1
12 Garage Spaces			Total DU			15	

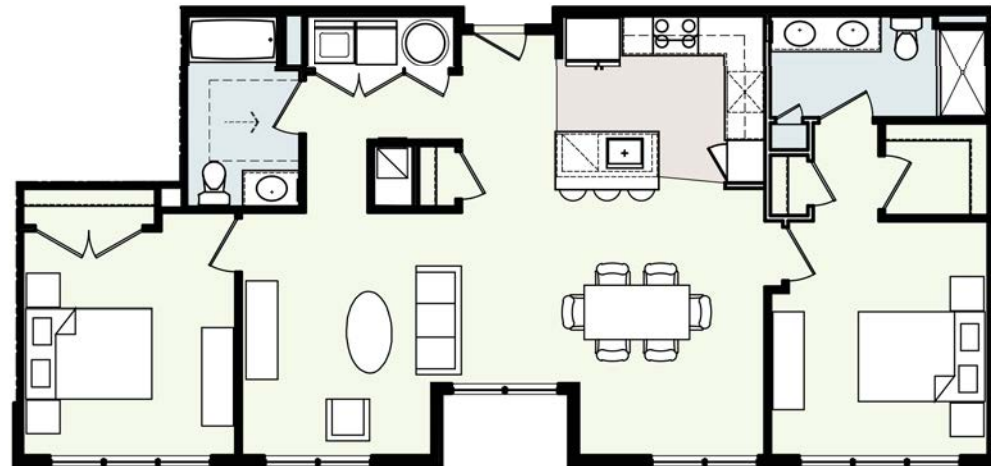




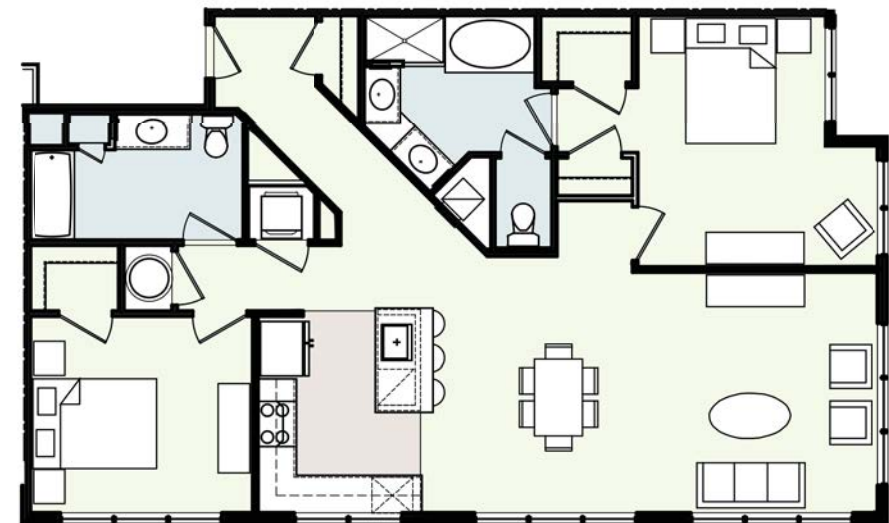
A-3 One Bedroom
809 SF



B-14 Two Bedroom
1350 SF



B-6 Two Bedroom
1257 SF



B-7 Two Bedroom
1292 SF

0 5 10 15 20'

3/32" = 1'-0" at full size (11 x 17")



EDGE-ON-HUDSON

BLOCK J





Brick

Wooden Porch



Brick Tiles and Metal Baywindows



Window Details

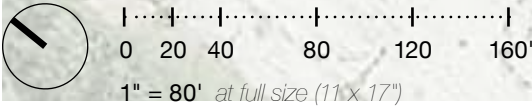
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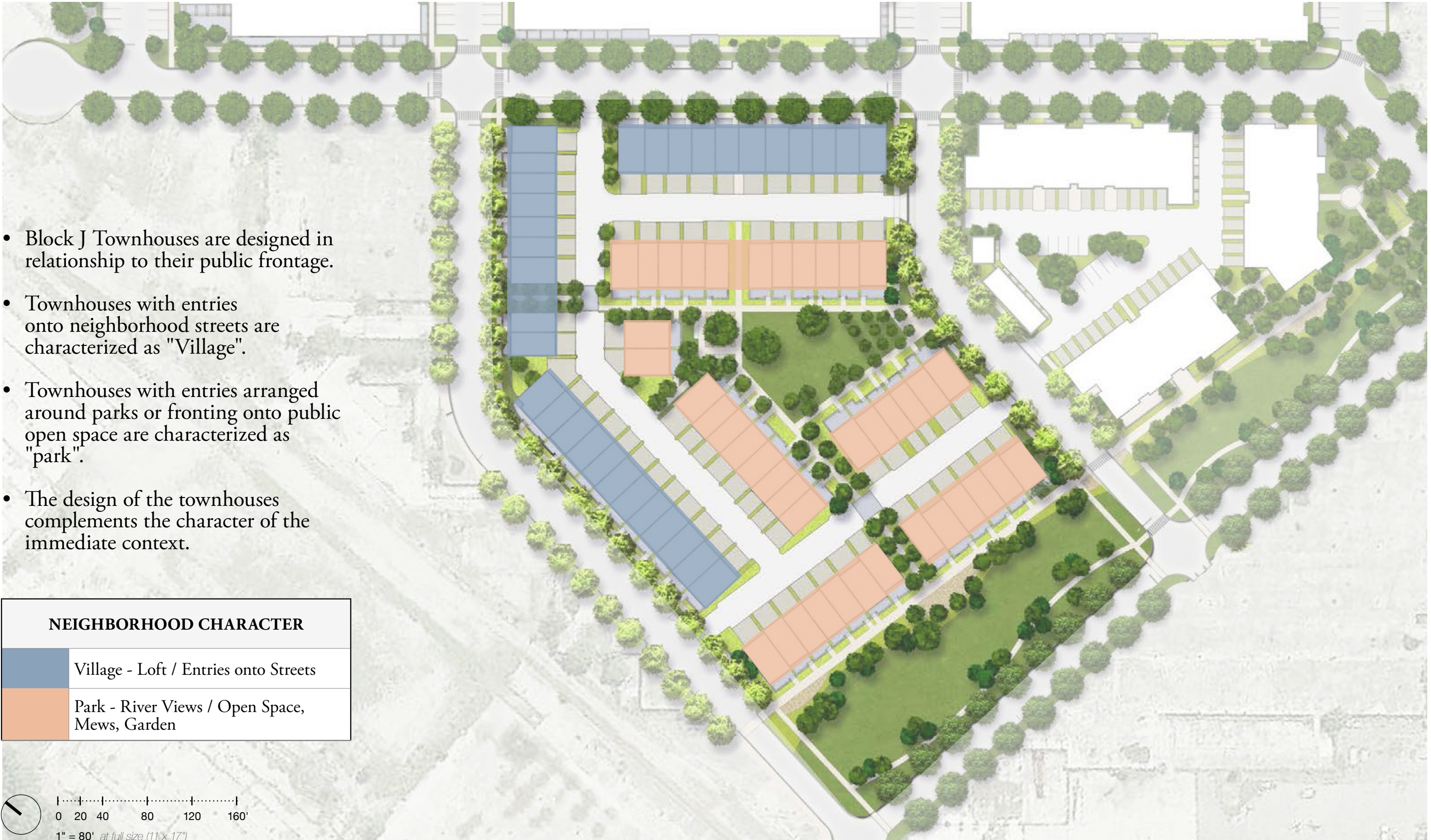


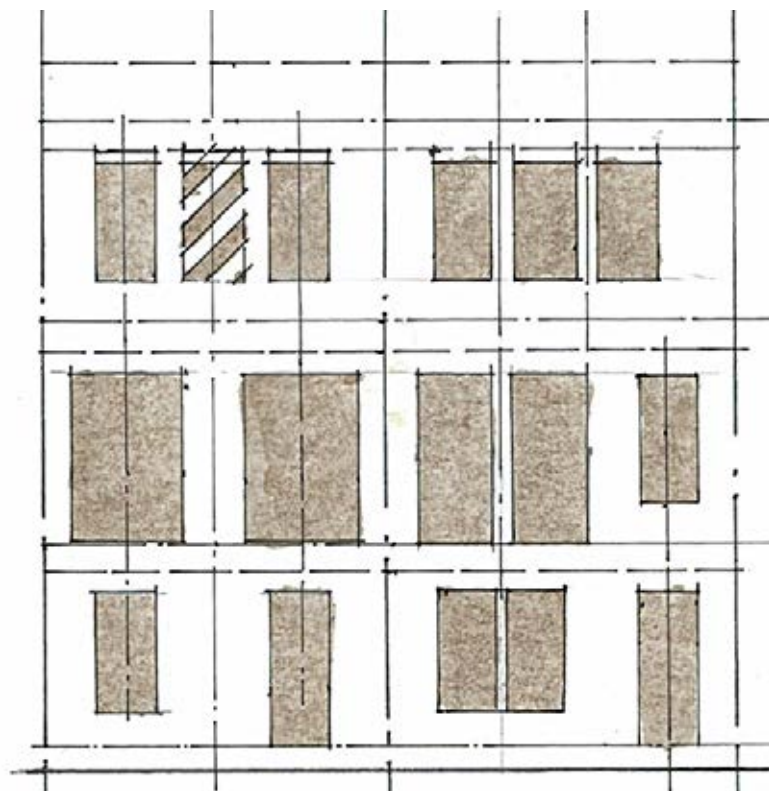
BLOCK J : Townhouses			
Width	Type	#	SF
18.0 Ft	2 BR	16	1,670 - 1,795
21.0 Ft	2BR + Den / 3BR	38	1,930 - 2,530
24.0 Ft	3BR + Den	18	2,205 - 2,875
TOTAL / AVG		72	2,200

PARKING			
Type	DU	Parking Req. (Spaces/DU)	Total Parking Req.
Two BR	16	2	32
Three BR	56	2.5	140
TOTAL	72		172

PARKING PROVIDED	
Type	Parking provided
On-Grade	128
Garage	128
TOTAL	256







Chassis



Porch



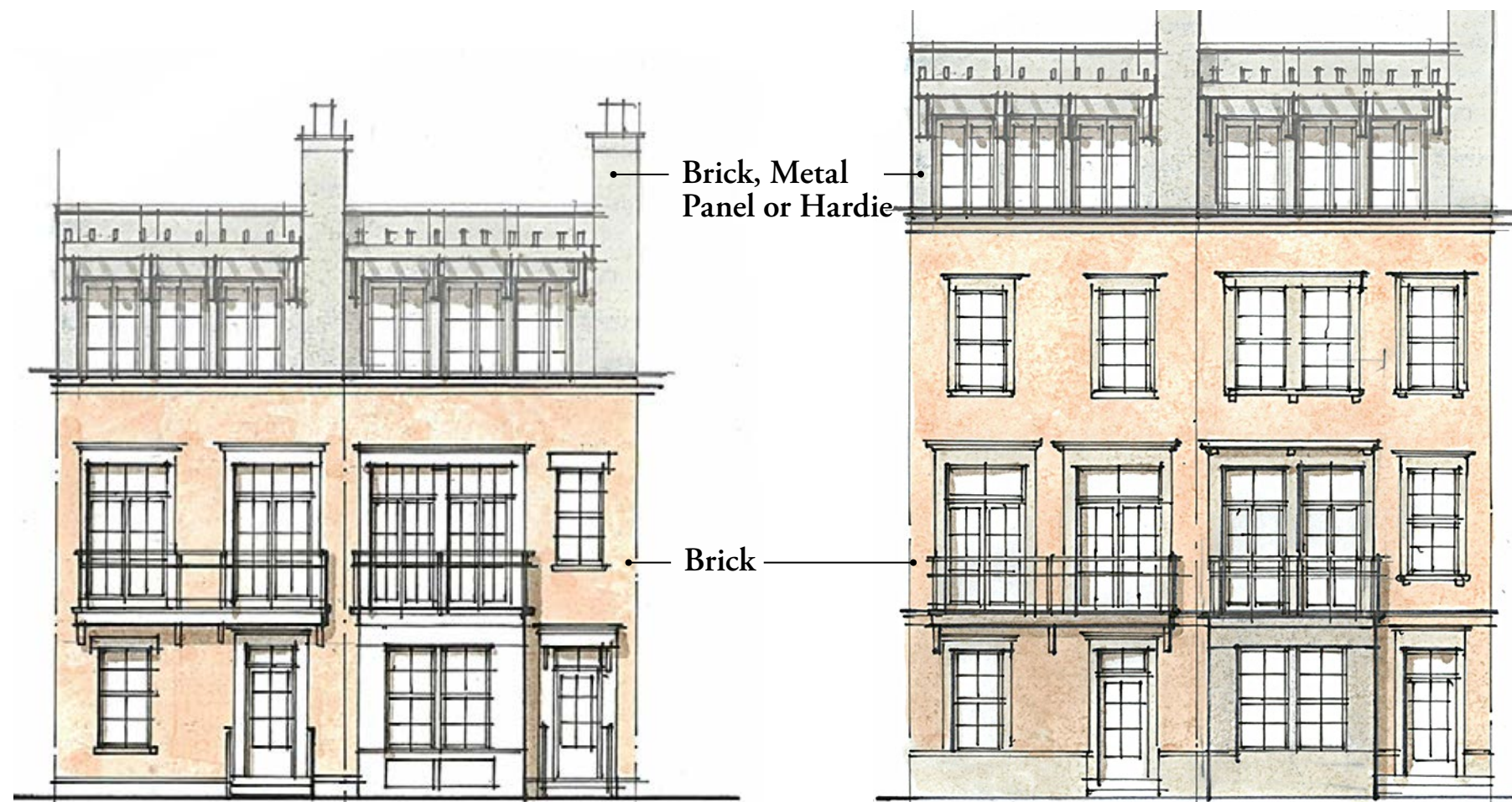
Bay



Balcony and Cornice



Large Frame



2 1/2 Stories with Roof Garden

3 1/2 Stories with Roof Garden

- The Townhouse District strives to create variety and choice in a neighborhood setting.
- A 'Kit of Parts' consisting of porches, balconies, stoops, bay windows and cornices is applied on a framework of regular openings (chassis) that is typical for all.
- The chassis forms a consistent rhythm across a block of townhome facades while a varied application of the 'kit of parts' breaks up the massing and creates diversity.
- The 'kit of parts' helps distinguish each townhome from its neighbor while maintaining a continuous street front.
- An emphasis on stoops, porches, balconies and small front yard areas creates a walkable neighborhood environment.

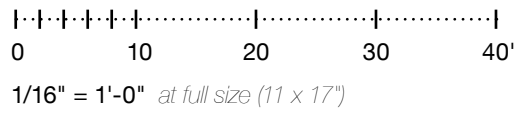


0 10 20 30 40'

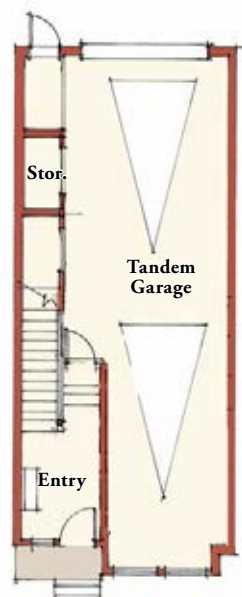
1/16" = 1'-0" at full size (11 x 17")



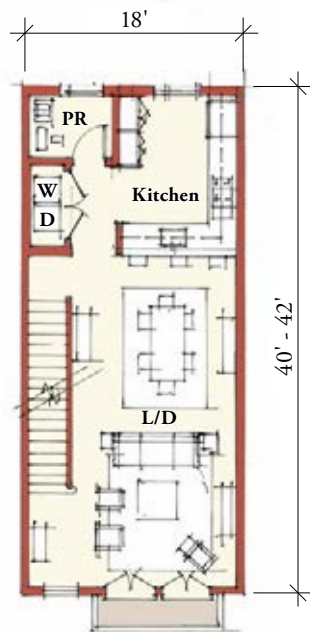
- The elevation example shows an application of the 'kit of parts' across a block of townhomes which are designed as a contiguous park facade.
- The 'Park' style shown here has an articulated facade with large openings and balconies in response to its setting on Central Park.
- The use of bay windows, porches and roof terraces varies the massing and creates a lively frontage as part of the pedestrian experience.
- The architecture treatment varies at the corners and 'special locations' such as entries to pedestrian passages to draw interest and create diversity within the block.



- The elevation example shows an application of the 'kit of parts' across a block of townhomes which are designed as a contiguous street facade.
- The 'Village' style shown here responds to its setting taking cues from the adjoining 'loft' district and gives definition to the public realm.
- Emphasis is given to stoops to respond to the street setting.
- Projections such as single and double story bay windows along with roof terraces breaks up the massing and varies the roof line.
- The elevation articulates individual units composed as a continuous street wall.



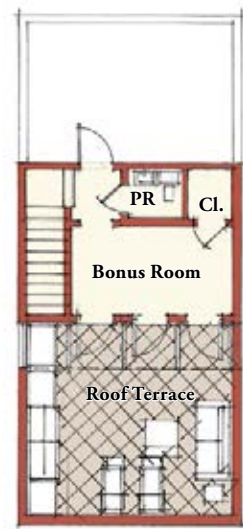
First Floor
200 sf



Second Floor
685 sf

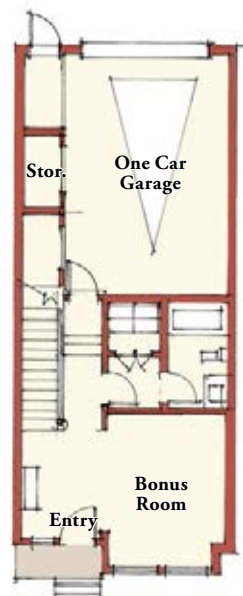


Third Floor
720 sf

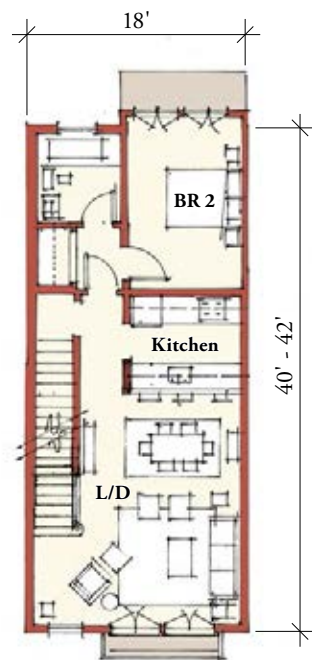


Roof
190 sf

PROGRAM SUMMARY : OPTION 1			
	Width		SF
Proposed	18'	2 BR + Bonus Tandem Garage	1,795



First Floor
460 sf



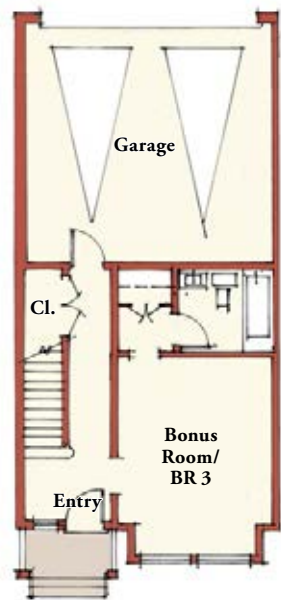
Second Floor
690 sf



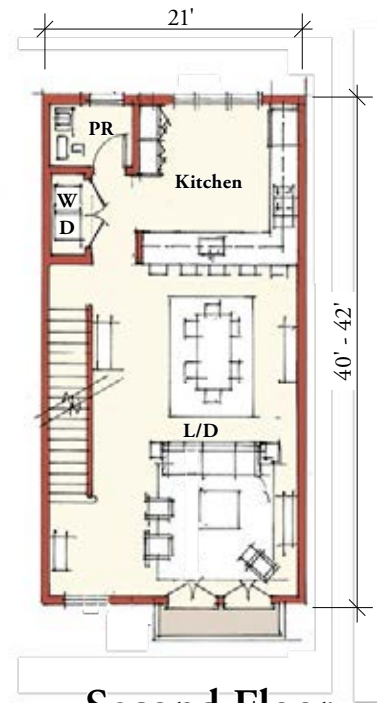
Third Floor
520 sf

PROGRAM SUMMARY: OPTION 2			
	Width		SF
Proposed	18'	2 BR + Bonus Room	1,670

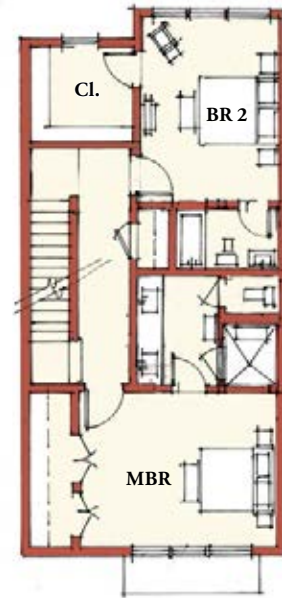




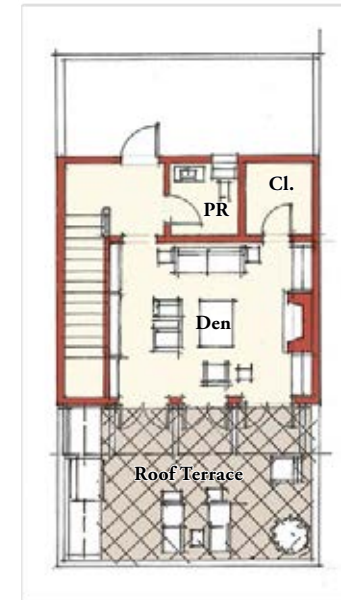
First Floor
485 sf



Second Floor
815 sf

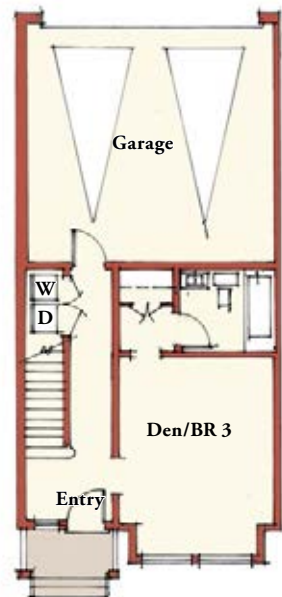


Third Floor
865 sf

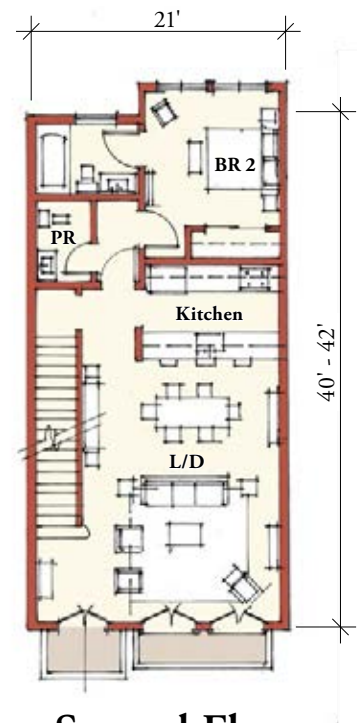


Roof
365 sf

PROGRAM SUMMARY: OPTIONS 1a and 1b			
	Width		SF
Proposed 1a	21'	2 BR + Den + Bonus	2,530
Proposed 1b	21'	3 BR + Den	2,530



First Floor
485 sf



Second Floor
845 sf

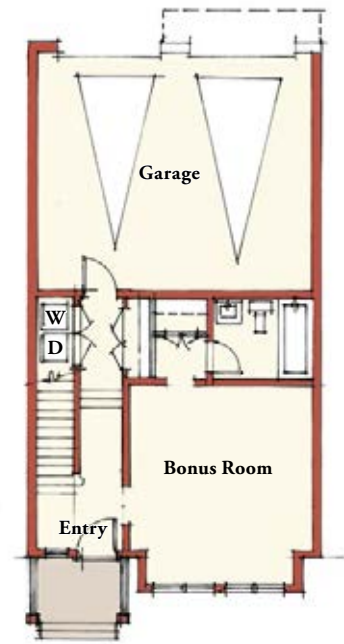


Third Floor
600 sf

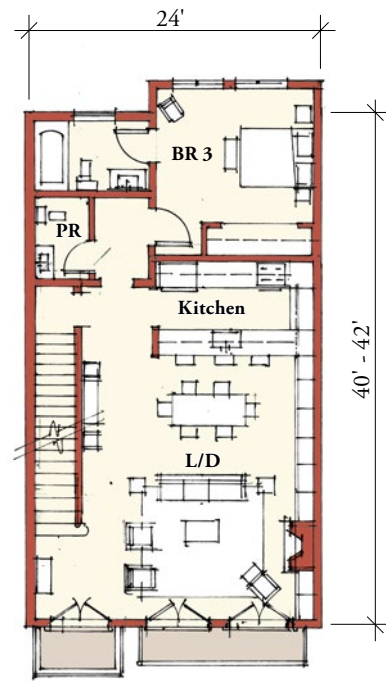
PROGRAM SUMMARY: OPTIONS 2a and 2b			
	Width		SF
Proposed 2a	21'	2 BR + Den	1,930
Proposed 2b	21'	3 BR	1,930



0 10 20 30 40'
1/16" = 1'-0" at full size (11 x 17")



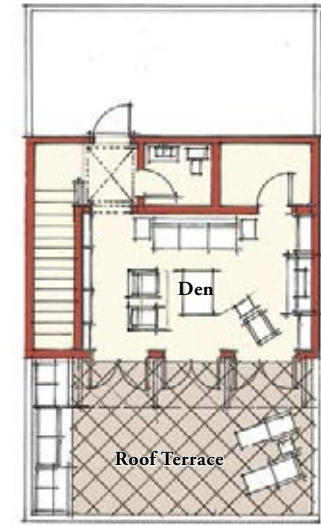
First Floor
550 sf



Second Floor
970 sf

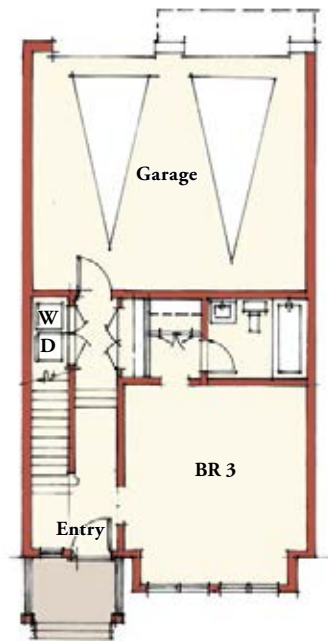


Third Floor
995 sf

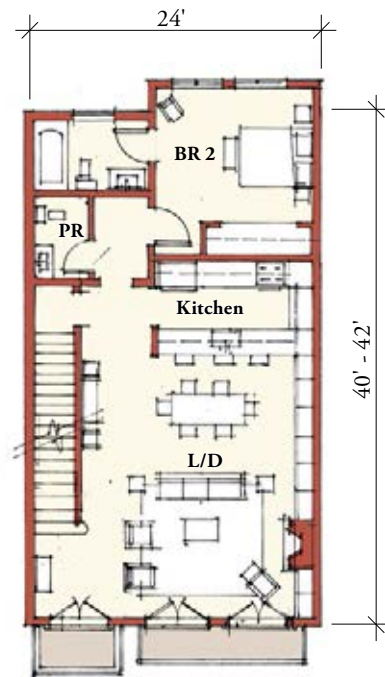


Roof
360 sf

PROGRAM SUMMARY: OPTION 1			
	Width		SF
Proposed	24'	3 BR + Den	2,875



First Floor
560 sf



Second Floor
970 sf



Third Floor
675 sf

PROGRAM SUMMARY: OPTION 2			
	Width		SF
Proposed	24'	3 BR	2,205





EDGE-ON-HUDSON

PHASE 1 SITE PLAN APPROVAL APPLICATION: LANDSCAPE ARCHITECTURE

May 1, 2015

HART | HOWERTON | Lighthouse Landing Venture, LLC

TAB 3

Typical Patio at Apartments
& Condominiums (p. 12)

Block I Amenity Courtyard
(p. 11)

Typical Patio at Townhouse
(p. 13)

Typical Raised Patio
(p. 14)

Concept Plan Block J
Neighborhood Green Space
(p. 9)

Typical Neighborhood Mews
(p. 10)

Concept Plan Central Park -
Parcel 2 (p. 6)

Block I

Road Four

Block E

Neighborhood
Green Space

Road Three

Block J

Road Two

Central
Park

Road One

Beekman Avenue

Concept Plan Block E
Gardens (p. 8)

Concept Plan Central Park -
Parcel 1 (p. 5)

Road Four

Village Green

Concept Plan Village Green
(p. 7)



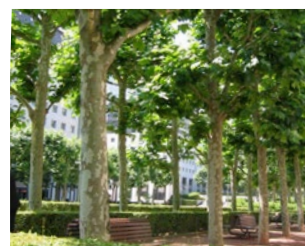
0 150 300'
1" = 150' at full size (11 x 17")



 Zelkova

Selected for:

- Formal branching structure
- Fall color
- Summer shade
- Height of mature specimen
- Salt and debris tolerance



 Plane Tree

Selected for:

- Size and speed of growth
- Overall resilience
- Proximity to Hudson River



 Honey Locust

Selected for:

- Light green leaf color
- Porous branch structure



 Red Maple

Selected for:

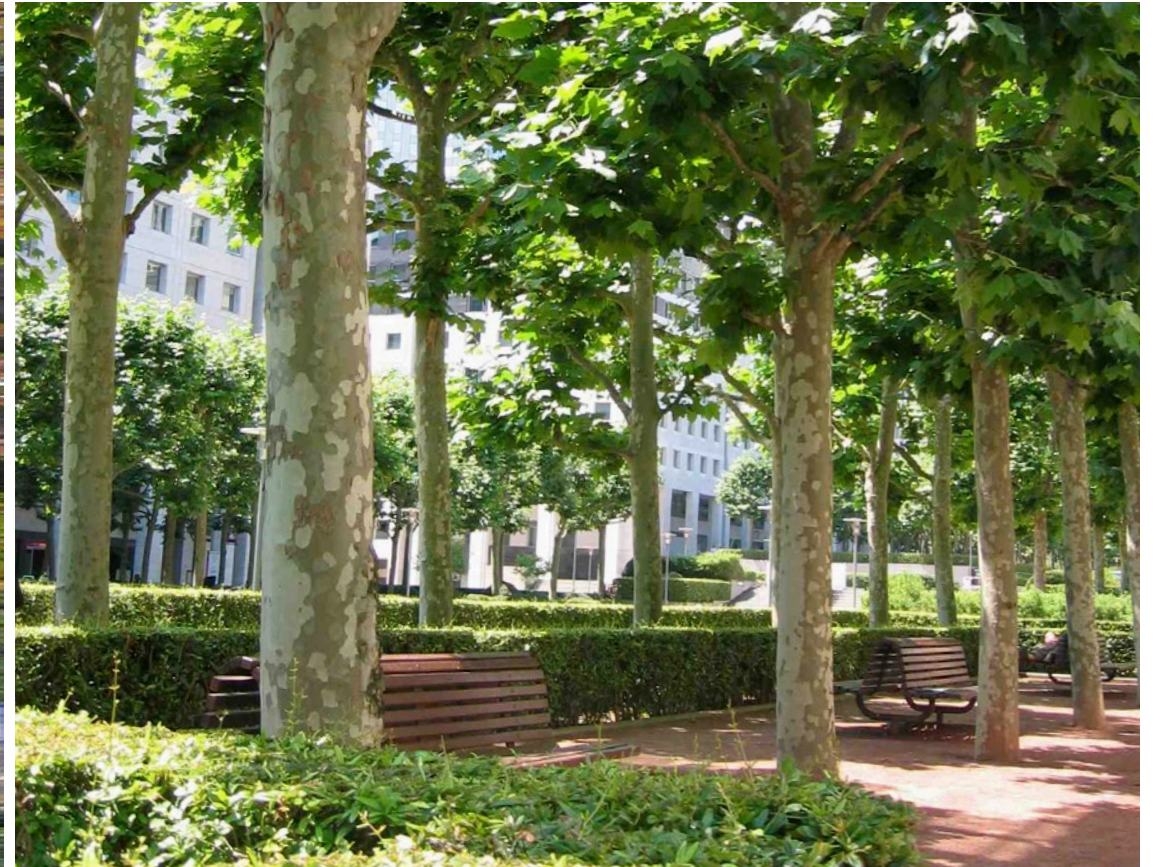
- Pedestrian scale
- Fall color



Seasonal Interest



 Zelkova



 Plane Tree



 Honey Locust



 Red Maple



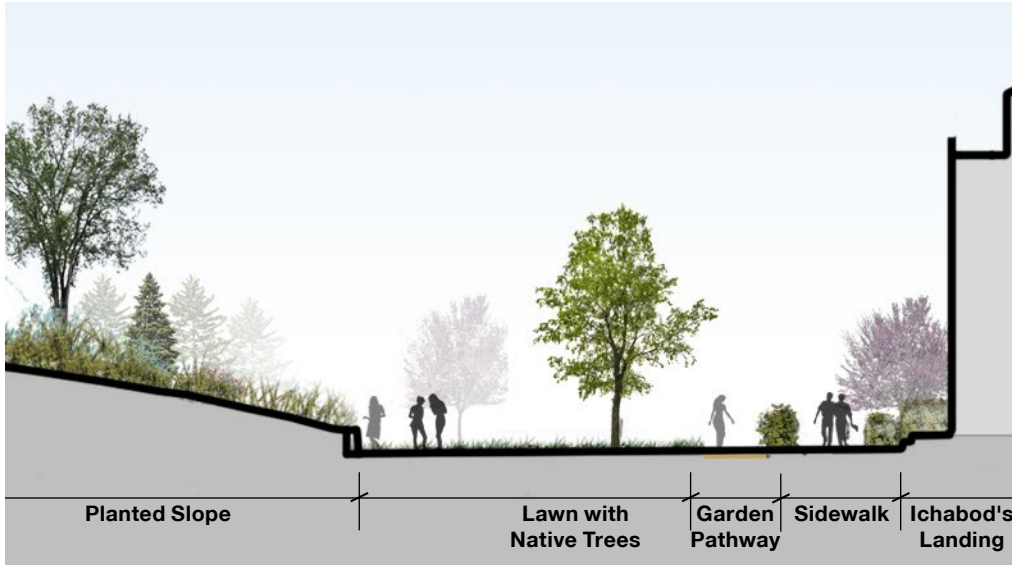


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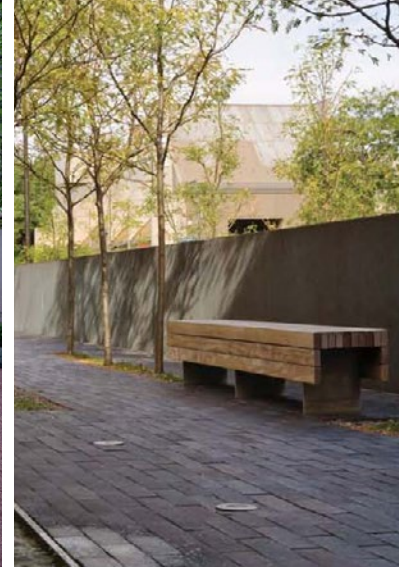


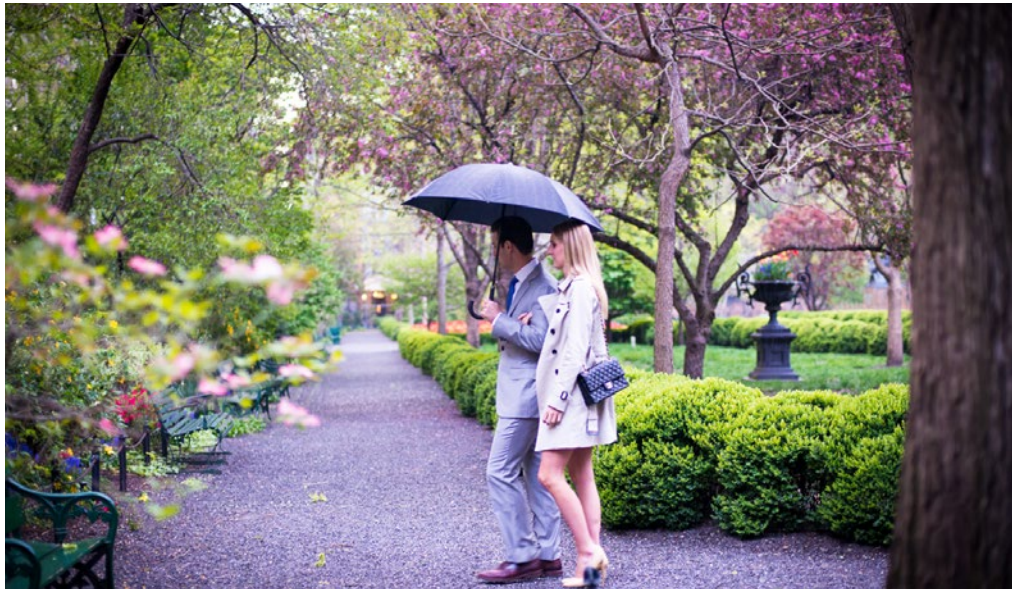
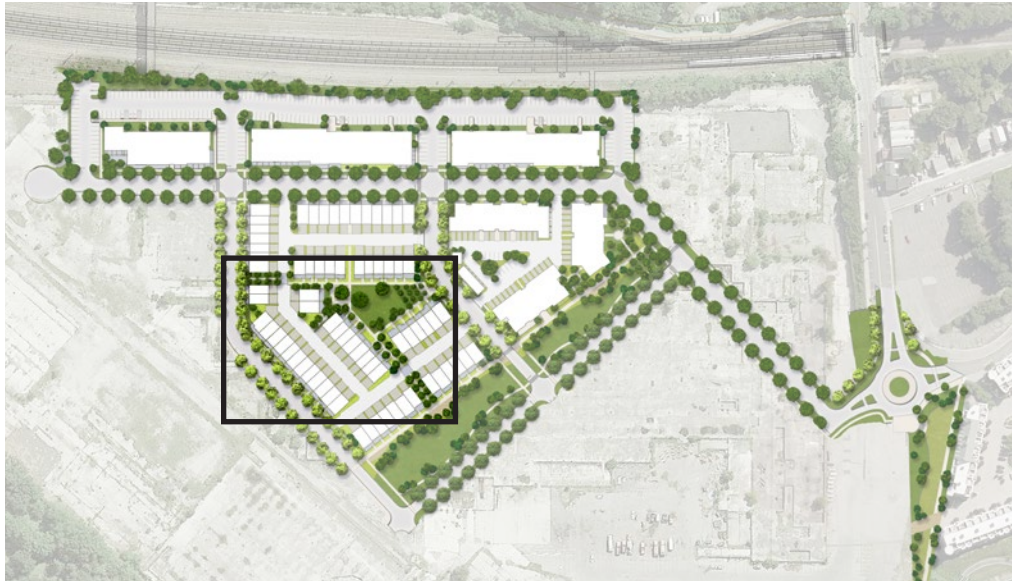
The Village Green is an integral part of the pocket park structure and provides a gateway connecting Edge on Hudson, Ichabod's Landing, and the surrounding community to the waterfront.

- The planted slopes and open lawn areas are used to enhance the overall community aesthetics and create outdoor rooms while providing natural screening of future roadways.
- The evergreen and deciduous plant palette provides seasonal interest and draws from the natural character of the Hudson River Valley.



Images may be subject to usage restrictions.



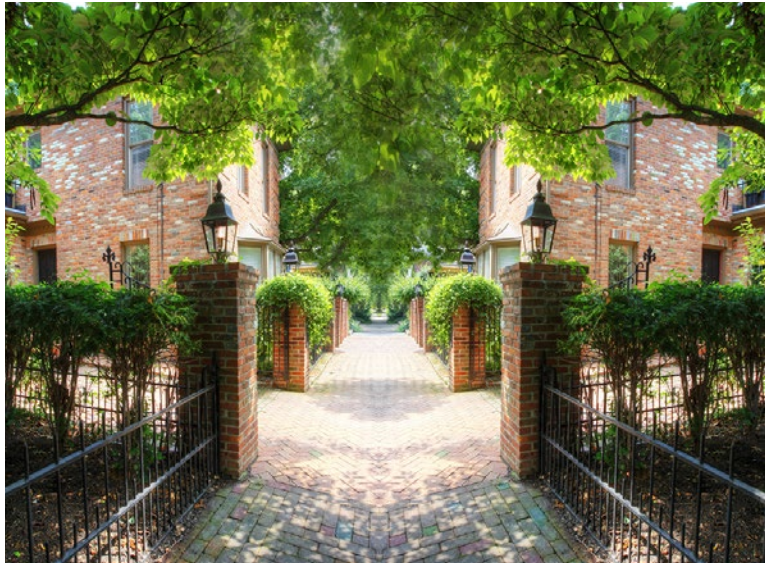
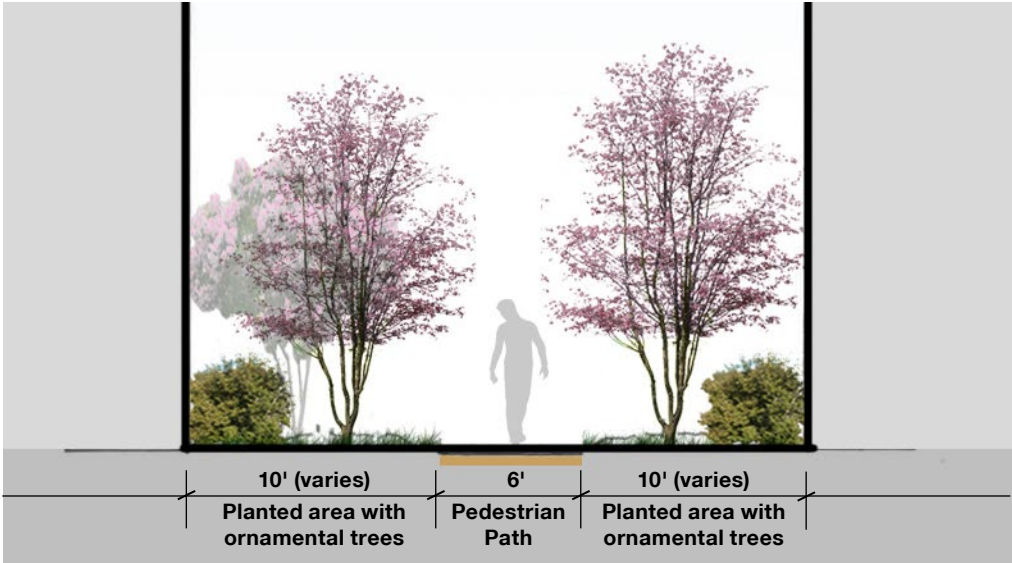
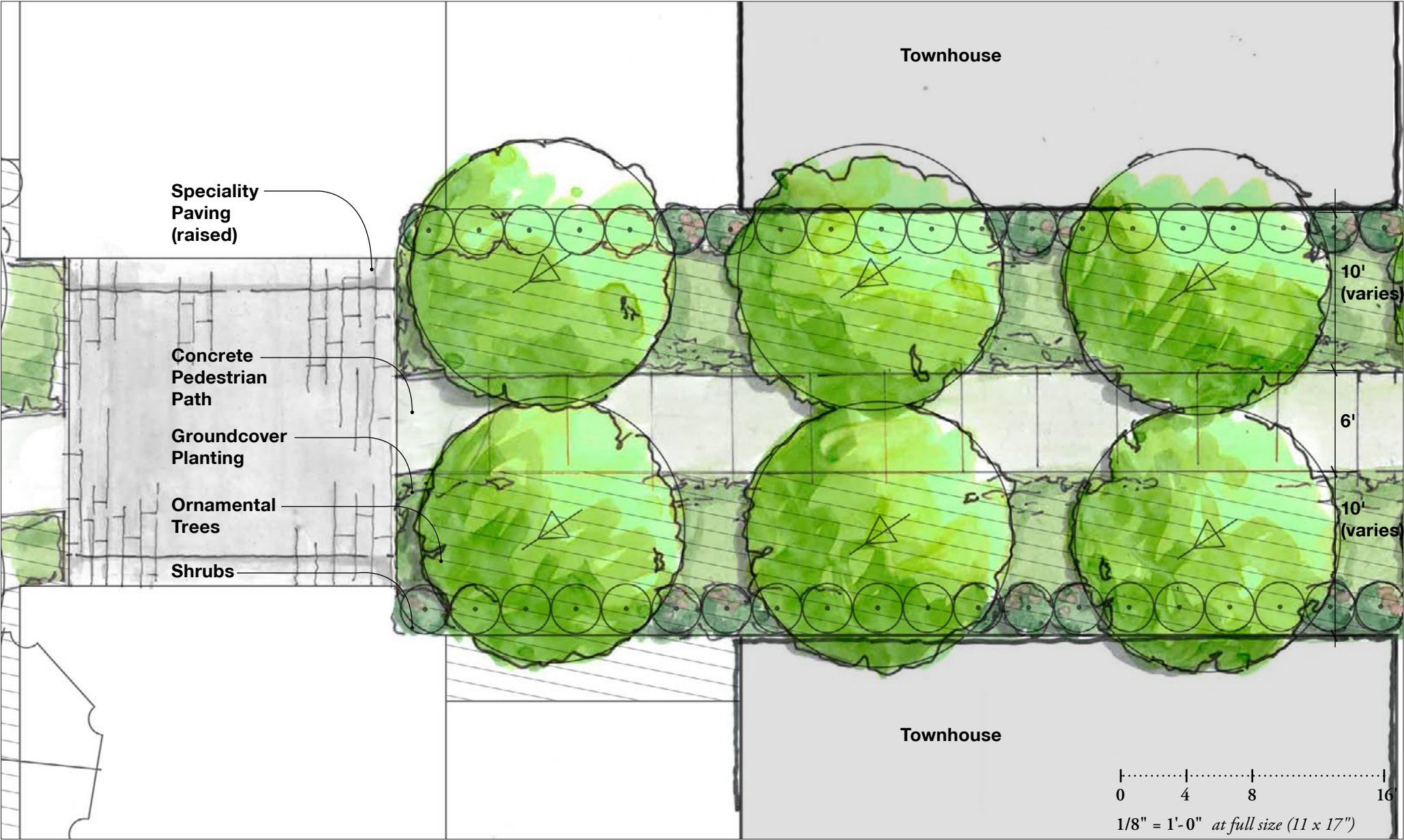


Images may be subject to usage restrictions.



In the townhouse blocks, an interconnected system of pedestrian passageways create mews conditions.

- The pedestrian scale of the mews allows for intimate connections through residential blocks.
- Ornamental trees, shrubs, and flowers that provide scale and seasonal interest are planted alongside the pedestrian path.
- The mews connections enhance the unique character of the neighborhood by utilizing design details and materials that create a rich neighborhood and draw from the architectural character of the Hudson River Valley.





The Block I Amenity Courtyard is an outdoor common space to be used by residents of the 40 unit Senior Affordable Housing (Building I-1).

- Acts as an extension of the interior amenity space.
- Enhances the unique character of the neighborhood by utilizing design details and materials that create a rich streetscape frontage.
- Low courtyard walls draw from the architectural character of the Hudson River Valley.
- Planters with small ornamental trees, shrubs, and flowers provide seasonal interest and define outdoor rooms integrating the architecture.



Building I-1 Amenity Area



HART | HOWERTON

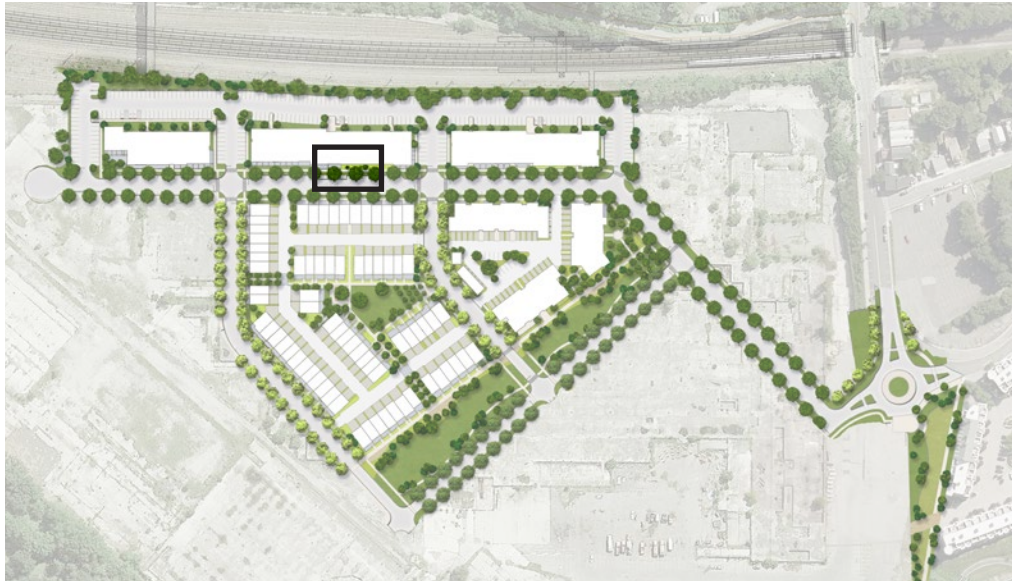
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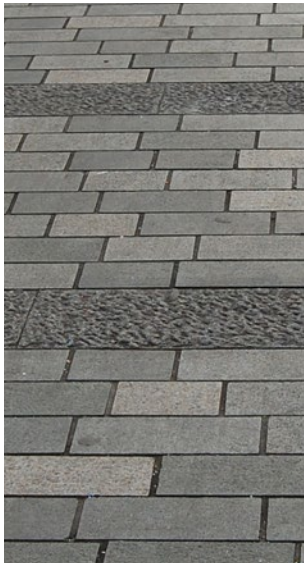
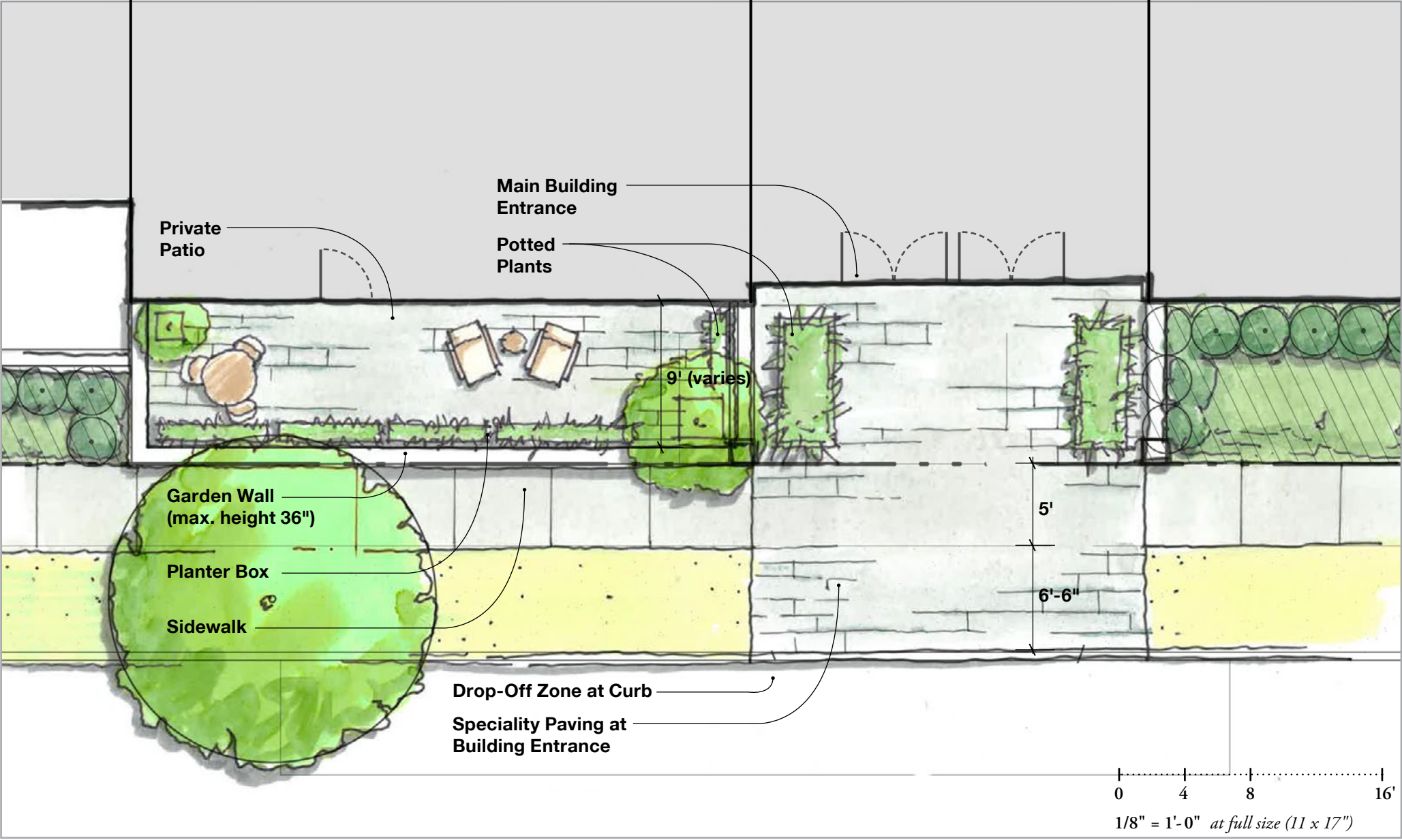
Block I Amenity Courtyard

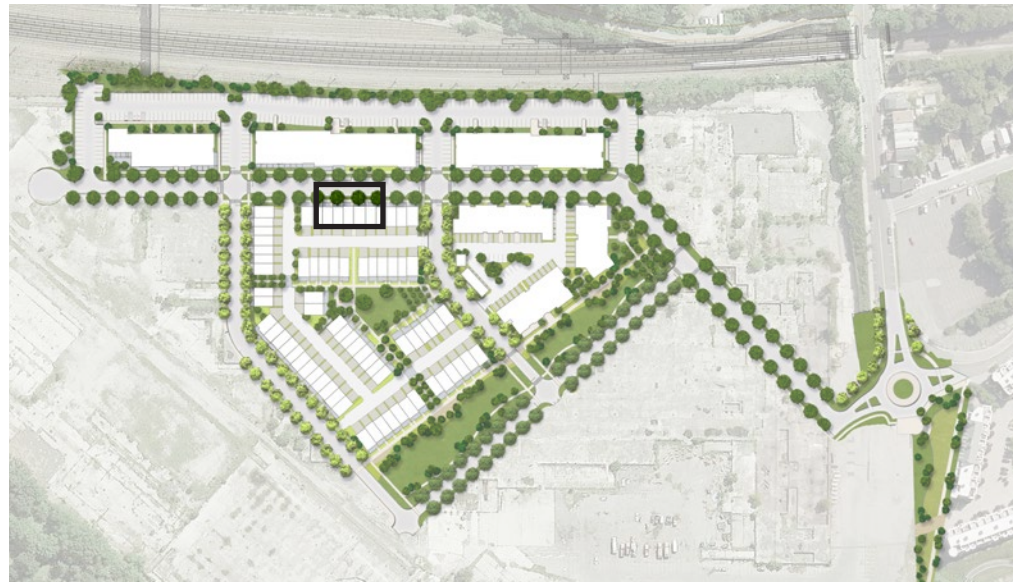
May 1, 2015



The Block I patio is a private outdoor space with a sense of spacial definition and urban community adjacent to the sidewalk. A typical patio is illustrated here. Patios may not occur at all Block I or E units.

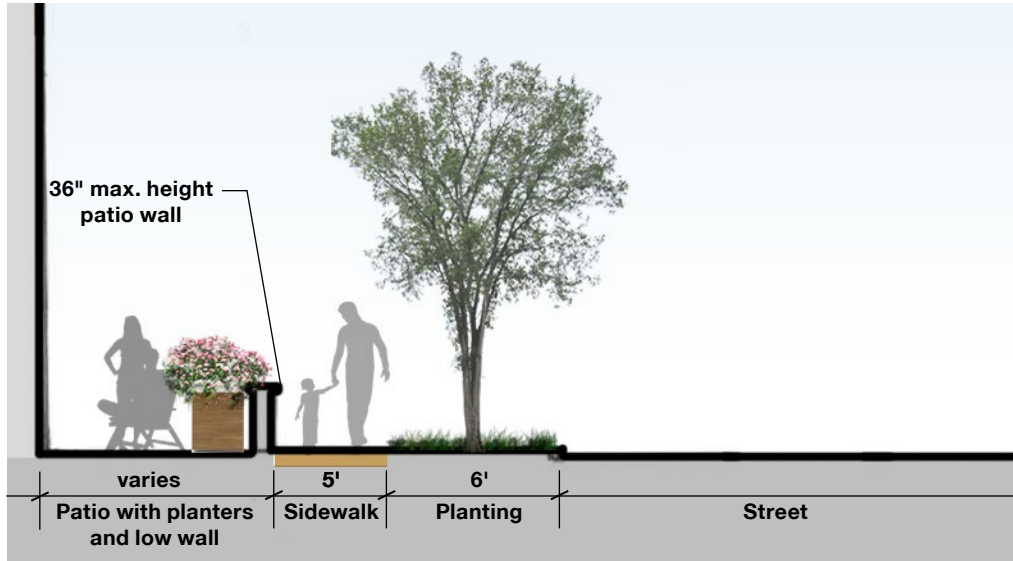
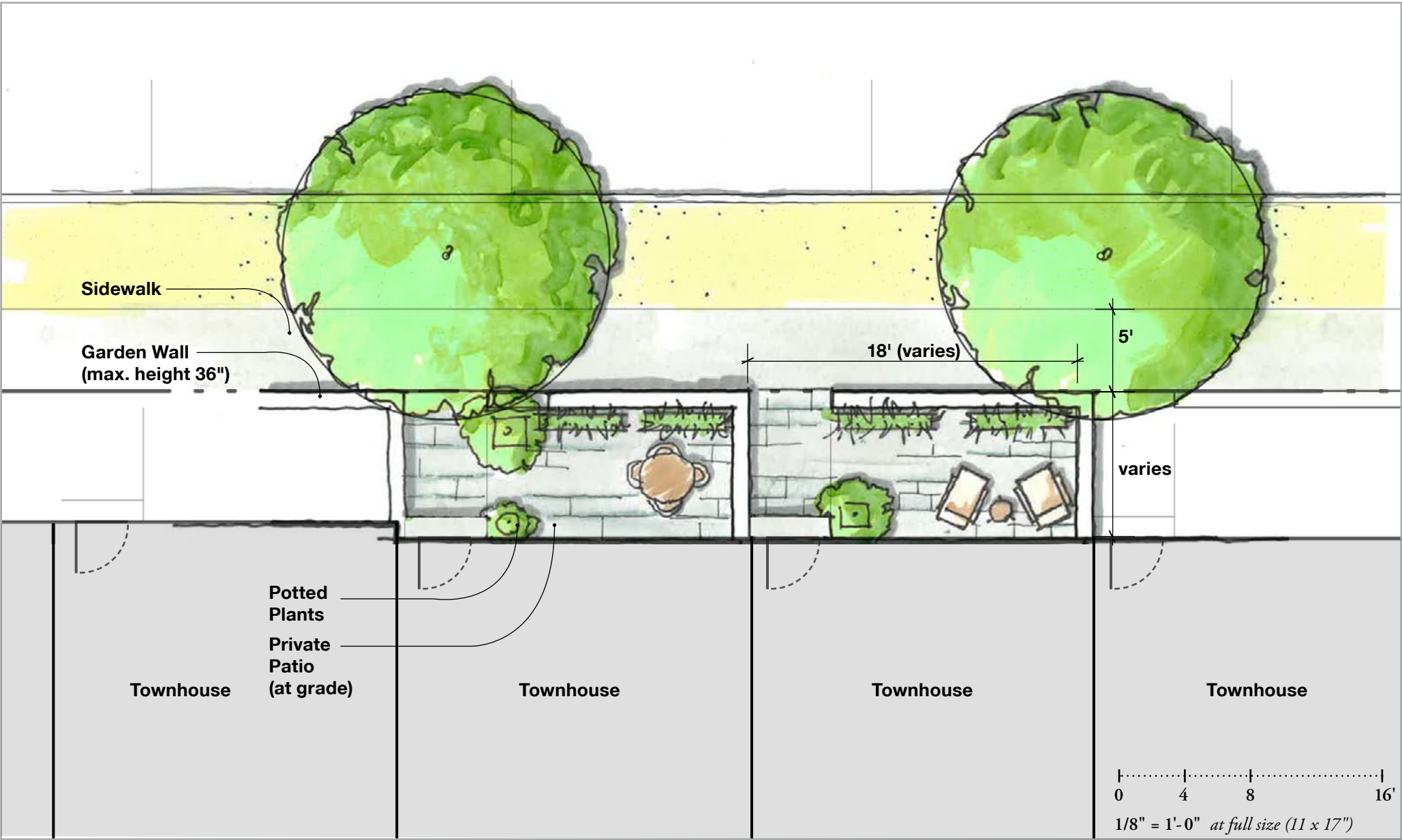
- Design details and materials create a rich streetscape frontage.
- Subtle architectural features such as low courtyard walls reflect the architectural character of the Hudson River Valley while creating a walkable street experience.
- Planters create privacy and natural interest with the use of native ornamental trees, shrubs, and flowers that change form and color with the seasons.
- Patios are defined by a wall, fence or hedge or a combination of these elements. Typical condition illustrates the patio with a wall.
- Fences or hedges are to be at a max. height of 36" if utilized.





Each townhouse will have a private patio at entry providing an outdoor space for the residences. Patios will typically be at grade or raised. Typical at grade patios are illustrated here.

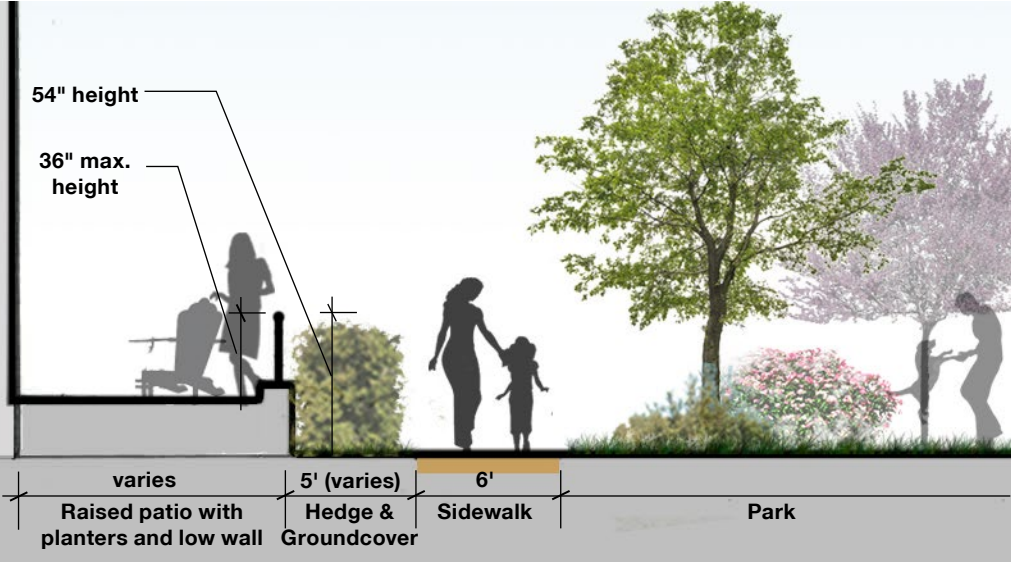
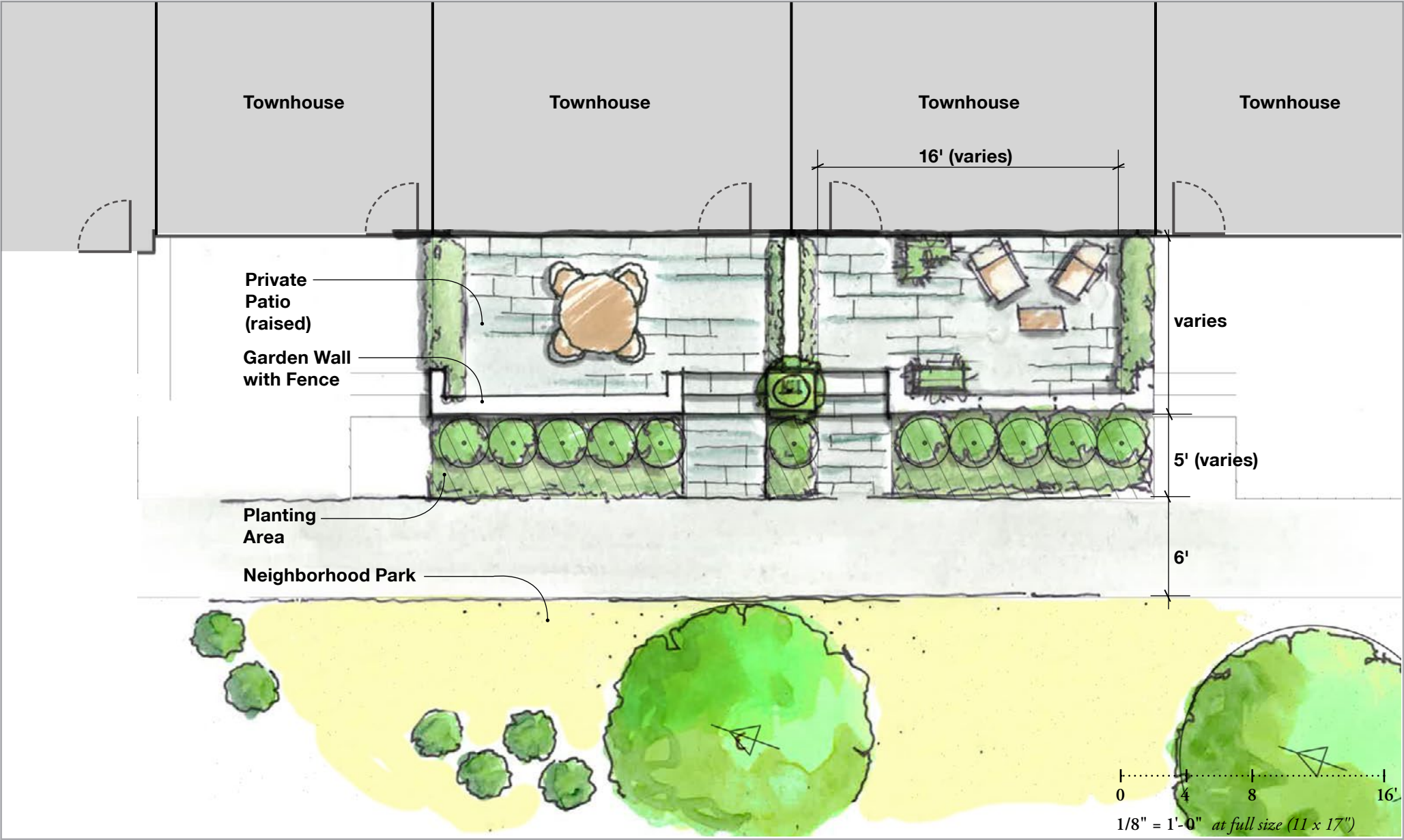
- The patio becomes an extension of the interior space.
- At grade patios with low walls adjacent to right of way provide a pedestrian scale to the streetscape while drawing from the architectural character of the Hudson River Valley.
- Planters with ornamental trees, shrubs, and flowers provide seasonal interest and define outdoor rooms.
- Patios are defined by a wall, fence or hedge or a combination of these elements. Typical condition illustrates the patio with a wall.
- Fences or hedges are to be at a max. height of 36" if utilized.





Each townhouse will have a private patio at entry providing an outdoor space for the residences. Patios will typically be at grade or raised. Typical raised patios are illustrated here.

- The raised patio is an extension of the interior space.
- Patios enhance the unique character of the neighborhood by utilizing appropriate design details and materials.
- Patios with low walls draw from the architectural character of the Hudson River Valley and reinforce the intimacy of the space.
- Planters with ornamental trees, shrubs, and flowers provide seasonal interest and define outdoor rooms.
- Patios are defined by a wall, fence or hedge or a combination of these elements. Typical condition illustrates the patio with a wall.



Images may be subject to usage restrictions.



EDGE-ON-HUDSON

PHASE 1 SITE PLAN APPROVAL APPLICATION: CONSISTENCY WITH DESIGN GUIDELINES

May 1, 2015

HART | HOWERTON | Lighthouse Landing Venture, LLC

TAB 4



“Buildings shall be either traditional in their architectural character (a contemporary expression of traditional styles and forms respecting the scale proportion, character and locale materials) or contemporary, innovative architecture representative of current architectural thinking (but respectful of scale, proportion and character of surrounding/adjacent buildings). Imitations of the look of the traditional buildings are discouraged; avoid 'fake' historic architecture.” (§3.3, p. 43)

“A variety of architectural features and building materials are encouraged to give each building or group of buildings a distinct character. One or more buildings of contemporary expressions are encouraged throughout Lighthouse Landing to **create a feeling of "planned eclecticism."** (§3.3, p. 43)

"Buildings will exhibit variety in their massing, projections, and recesses while maintaining a human scale which is comfortable for the pedestrian. Where appropriate, **asymmetry in design is encouraged** to provide visual interest." (§3.3, p. 47)

"In general, design each building to **complement the architectural character of its immediate neighbors** and to be sensitive to their material, colors, and scale." (§2.3, p. 18)



"The design approach will shift from accommodating vehicular traffic to **encouraging pedestrian movement.**" (§3.2, p. 30)

"Traffic calming initiatives (**narrower streets, on-street parking, clearly defined sidewalks and special paving at critical locations**) contribute to a pedestrian friendly environment." (§3.2, p. 30)

"Buildings located close to streets give definition to the street as a public realm and create a comfortable sense of place for pedestrians." (§3.1, p. 29)

"Buildings will strive to maintain a continuous street frontage, with minimum breaks to provide for interior block access and service." (§2.4, p. 19)

"Location of **parking and its treatment are planned to reduce visual impact.** Surface parking lots have been screened off from the public realm by buildings and landscape." (§3.1, p. 29)

Design Intent

The design approach will shift the emphasis from accommodating vehicular traffic to encouraging pedestrian movement. The automobile, with appropriate traffic calming initiatives (narrower streets, on-street parking, clearly defined sidewalks and special paving at critical locations), can be compatible with, and contribute to, a pedestrian friendly environment. Streets will be interconnected to distribute traffic evenly throughout the community. The street framework will support a wide range of land uses, and create a public infrastructure that encourages pedestrian activity, street life, and a sense of community and place.

Street Standards

Curb Radii

Intersection and entrance drive radii dimensions associated with the public and private streets will be kept to minimum sizes to reduce traffic speed and make pedestrian crossings less daunting. Typical Curb Radii shall be 5'-15' to reduce pedestrian crossing distances and reduce car speed at intersections. Typical alley curb Radii shall be 5'. In limited instances larger curb radii may be used to accommodate loading, service, or over-sized vehicle requirements.

Alleys

Will occur primarily within residential blocks providing alternatives to driveway interruptions and garage doors facing the street creating a suburban edge. Alleys minimize the hazards of vehicles moving across sidewalks.

Curb Cuts

Are the entrances and driveways that interrupt the street curb line. The Lighthouse Landing Master Plan minimizes curb cuts through the use of shared entrances and alleys that separate driveway traffic from street traffic. Fewer curb cuts also improve traffic safety. Numerous curb cuts on streets facing public spaces are discouraged.

Street Design

3.2

On-Street Parking

Throughout the community, on-street parking will help reduce parking lot and garage sizes and have a calming effect on roadway traffic. On-street parking also enhances the sidewalk environment for pedestrians by providing a buffer between pedestrians and moving cars.

Two-way Traffic

All streets will accommodate two-way traffic with the exception of the one-way split around the Village Green, the Plaza and train station drop off area.

Bicyclists

In order to best accommodate both cyclists and pedestrians, the Master Plan for Lighthouse Landing emphasizes street design that alters its orientation from an auto-only to pedestrian friendly, multi-modal environment that stimulates community, personal interaction as well as safe travel. Successful neighborhood streets are those that encourage people to walk and ride bikes to access local destinations. This will be accomplished in Lighthouse Landing through narrower roadways and travel lanes, shorter blocks, terminating vistas, a grid network of streets with multiple connections and ample streetscape amenities. These design elements calm motorized traffic which is key to providing a safe environment for pedestrian oriented street activity including biking. A bicycle network consisting of on-street and off-street paths should be provided.

Fire Access

Building layouts should provide full emergency access to at least one long side of each structure. Adjacent emergency lanes, which occur within the street system and parking lots, are within 20' of the building. Hydrants have been located to provide for minimum hose runs to each building.

 LIGHTHOUSE LANDING AT SLEEPY HOLLOW

THE VILLAGE OF SLEEPY HOLLOW

 Beverly Hills

DIVNEY • TUNG • SCHWALBE

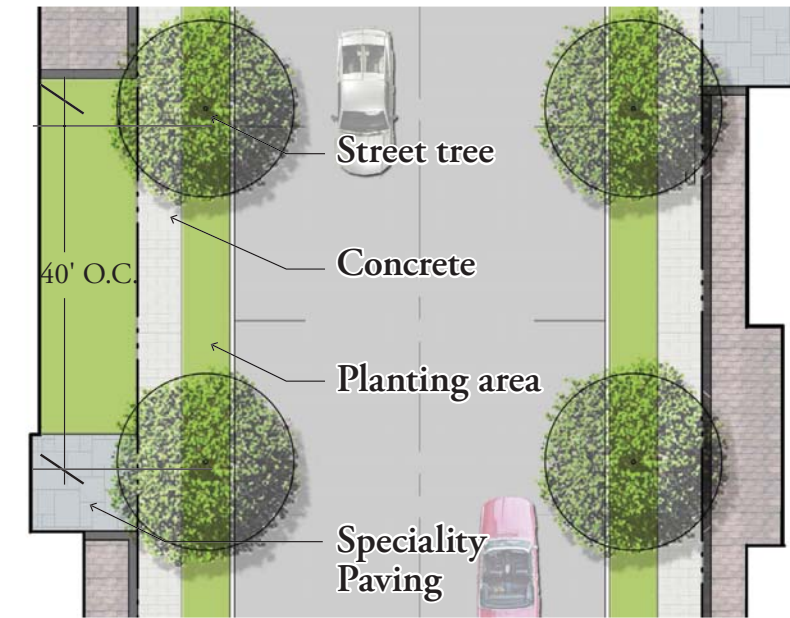
 Street Works

 RTKL

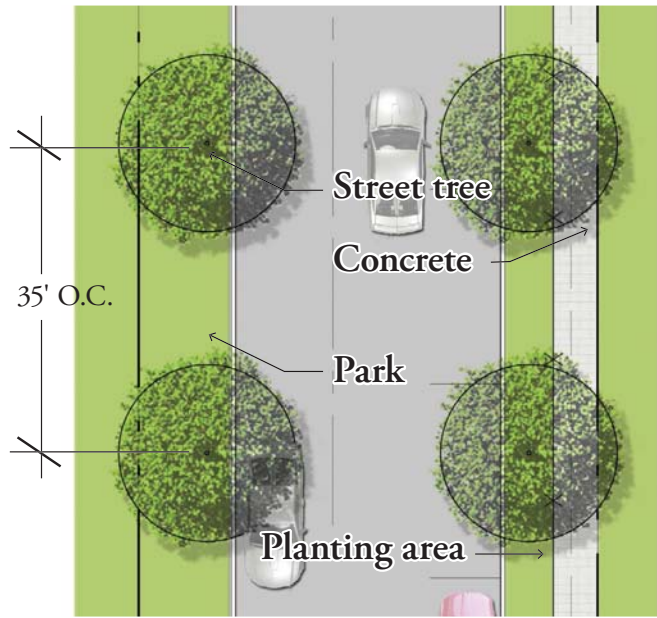
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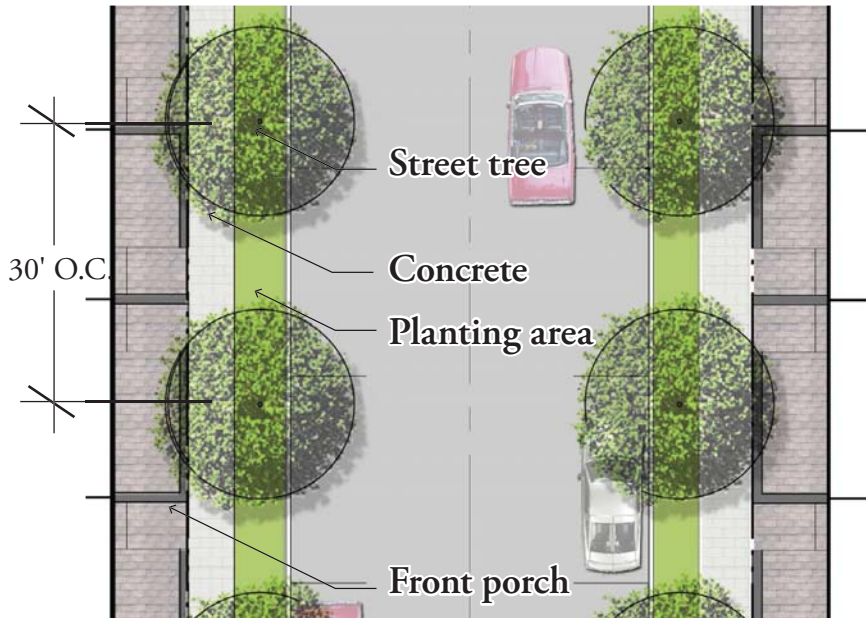
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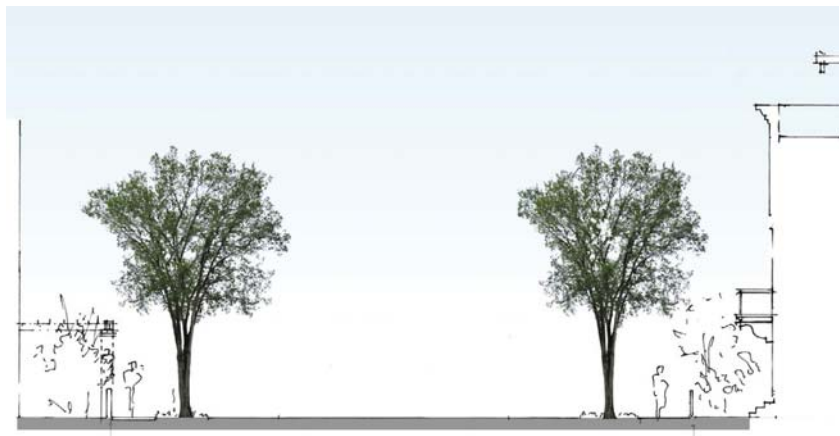
STREETSCAPE PLAN (Typical)



STREETSCAPE PLAN (Typical)



STREETSCAPE PLAN (Typical)



STREETSCAPE SECTION



STREETSCAPE SECTION



STREETSCAPE SECTION

0 10 20 40'

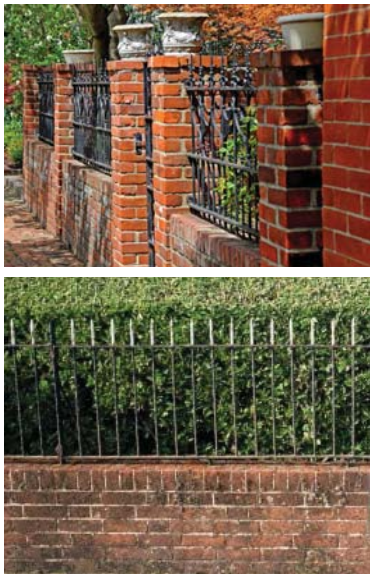
1" = 10' at full size (36 x 24")



Street trees provide seasonal color, texture, and scale



Specialty paving at key locations



Landscape walls define private spaces



Streetscape furniture and lighting palette



Images may be subject to usage restrictions.

"The **public space becomes an over arching organizational element for the community.**"

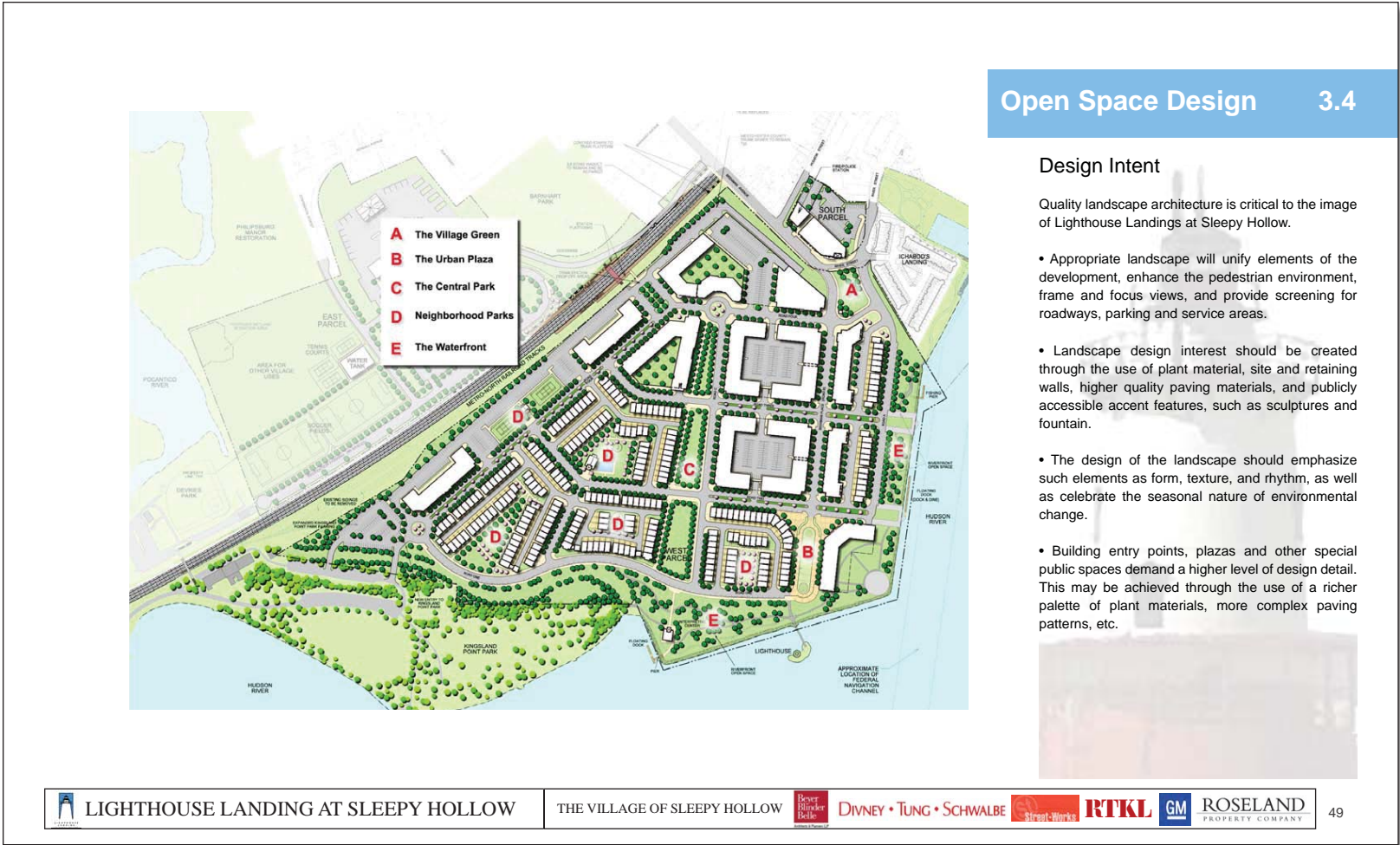
(§3.4, p. 50)

"A goal of the development is to provide green spaces and recreational amenities **in a broad range of landscape settings**, such as retail streets with landscaped sidewalks, a village green with pedestrian amenities, pocket parks, plazas, patios and natural areas with walking trails." (§3.4, p. 50)

"Various **informal parks and open spaces will be linked within the community through landscaped streets, sidewalks and trails** encouraging pedestrian activities." (§3.4, p. 50)

"To be efficient, **color and specimen material must be used generously in a few key locations**" (§3.4, p. 51)

"**Large groupings of a single species** is preferred to planting a large area with numerous species" (§3.4, p. 51)





Zelkova



Honey Locust



Red Maple

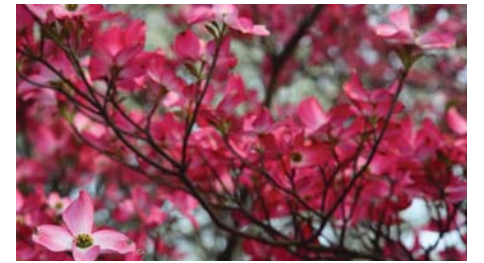


Plane Tree

"Streetscape...will be urban in character, with an emphasis on sidewalks, street lights, and street trees..." (§2.4, p. 19)



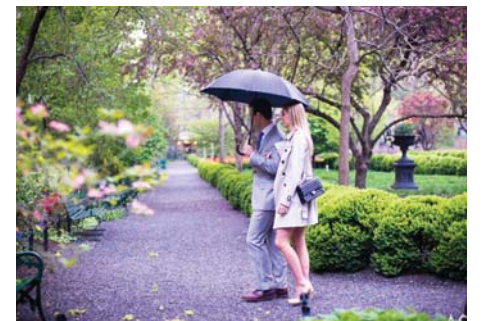
"...informal parks and open spaces will be linked through landscaped streets, sidewalks and trails..." (§3.4, p. 50)



"color and specimen must be used generously in a few key locations" (§3.4, p. 51)



"...celebrate the seasonal nature of environmental change." (§3.4, p. 49)



"...pocket parks that provide variety to the landscape experience." (§2.5, p. 22)



"The public space becomes an overarching organizational element for the community." (§3.4, p. 50)

Images may be subject to usage restrictions.

"Building should be oriented with the main building entrance on to the primary street." (§3.3, p. 44)

"...parking will be located behind buildings..." (§2.6, p. 23)

"Building will strive to maintain a continuous street frontage, with minimal breaks..." (§2.4, p. 19)

"...neighborhood-oriented in character, with an emphasis on stoops, porches, small front yard areas..." (§2.5, p. 21)


"The Loft District will maintain a strong street frontage along Road Four" (§2.6, p. 23)

"...parking will be hidden within the blocks...in parking courts, parking garages, or individual townhome garages." (§2.4, p. 19)


"All townhouses in the development are rear loaded with parking garages and driveway at the rear..." (§3.2, p. 40)

"Townhouse front setback shall be between 4' and 15' to R.O.W. on typical streets." (§3.3, p. 46)





Modulated Roof Forms and a more Industrial Character help to articulate the Loft District



The Loft District

Loft District 2.6

Design Principles

Located adjacent to the rail lines The Loft District provides Lighthouse Landing with an additional type of housing that has a more industrial and loft-style character. These buildings may feature a more open-plan arrangement to allow for greater flexibility in living arrangements that could support live-work lifestyles.


Design Elements


Streetscape
The Streetscape in the Loft District will be consistent with the character of the Townhome District and Central Park District, with an emphasis on sidewalks, street lights, and street trees to create a walkable neighborhood environment.

Parking
In general, parking will be located behind the buildings of the Loft District in parking courts adjacent to the rail.

Building relationship to Street.
The Loft District will maintain a strong street frontage along Road Four with minimum setbacks from the street.

Building Use
Buildings in the Loft District will be primarily residential in use, but will provide the opportunity for live/work lifestyles.





23

"The Loft District provides Lighthouse Landing with an additional type of **housing that has a more industrial and loft-style character.**" (§2.6, p. 23)

"**Parking will be located behind the buildings** of the Loft District in parking courts adjacent to the rail." (§2.6, p. 23)

"The Loft District will **maintain a strong street frontage** along Road Four with minimum setbacks from the street." (§2.6, p. 23)

"Loft District buildings may have a more warehouse or loft-style appearance with **larger and more regular window treatments.**" (§2.6, p. 24)

"...allowing variety and interruptions in roof line and skyline treatment that will enhance the sense of pedestrian scale and visual treatment..."
(§3.3, p. 47)

Ins and Outs

"Flat roofs and roof decks... warehouse or loft style appearance..." (§2.6, p. 24)

"The primary building colors utilized should be earth tones, and colors found in the local landscape" (§3.3, p. 44)

Subtle Balconies

"Prevailing facade lines shall be maintained within the same block..."
(§3.3, p. 43)



Building I-1 Elevation A



"Building massings... should be de-emphasized in a variety of ways: ...divisions or breaks in materials..." (§3.3, p. 48)

"Buildings are predominantly masonry..." (§2.2, p. 8)

"...larger and more regular window treatments..." (§2.6, p. 24)

"Quality and contrast in material provide a texture...that emphasizes a more human scale and proportion." (§4.4, p. 59)

"Building massing of street walls longer than 120' should be de-emphasized in a variety of ways." (§3.3, p. 48)

- Alternating brick bays and panelized recesses gives variety and scale to the Block.
- Variations in massing are deployed across the entire length of Block I.
- Balconies are typical and provided throughout each building.

"Goal of development is to provide a variety of landscape settings...including pocket parks, plazas and patios." (§3.4, p. 50)

- Ground floor units have private patio space, with overhead trellis and low garden walls.

"Allowing variety and interruptions in roof forms and skyline treatment will enhance pedestrian scale and visual interest."

(§3.3, p. 47)

- Shading devices on the upper floor mitigate afternoon sun and create visual interest on the upper floors.
- A varied roof line further breaks down the building mass and creates a unique skyline against the Metro-North tracks.



Building I-1 Elevation A



Building I-2 Elevation B



Building I-3 Elevation C



Architectural Elements draw from Hudson Village examples


The Central Park District

- Larger scaled buildings create a Gateway at the Southern end of the Park District



- High Quality Urban Streetscape helps unite the District

- Lower scaled townhomes frame the Central Park space as it opens out to the Northern Kingsland Point Park edge.



Central Park District 2.4

Design Principles

The Central Park District is organized around the Central Park, which runs 3 blocks from Road Four to Road One. The central park creates a great open space that extends the river front open space into the heart of the Lighthouse Landing community.

Design Elements

Streetscape
The Streetscape along the Central Park district will be urban in character; with an emphasis on side walks, street lights, and street trees to create a walkable environment.

Parking
In general, parking will be hidden within the blocks of the Central Park District; in parking courts, parking garages, or individual town home garages. On-street parallel parking will be provided along Roads C,4,3,2, and 1.

Building relationship to Street.
Building will strive to maintain a continuous street frontage, with minimal breaks to provide for interior block access and service.



LIGHTHOUSE LANDING AT SLEEPY HOLLOW

THE VILLAGE OF SLEEPY HOLLOW

ROBERT BLANDER DESIGN

DIVNEY • TUNG • SCHWALBE

STREET WORKS

RTKL

GM

ROSELAND PROPERTY COMPANY

19

"The streetscape along the Central Park district will be **urban in character**, with an emphasis on sidewalks, street lights and street trees to create a walkable environment." (§2.4, p. 19)

"Buildings will strive to maintain a **continuous street frontage** with minimum breaks to provide for interior block access and service." (§2.4, p. 19)

"Design each building to **complement the architectural character of its immediate neighbors** and be sensitive to their material, color and scale." (§2.4, p. 20)

"Buildings in the Central Park district will be of **a variety of scales.**" (§2.4, p. 20)

"...allowing variety and interruptions in roof line and skyline treatment that will enhance the sense of pedestrian scale and visual treatment while screening mechanical equipment" (§3.3, p. 47)

"The primary building colors utilized should be earth tones, and colors found in the local landscape" (§3.3, p. 44)

Change in building massing and material to break down scale

Balconies give stronger corner expression, highlight asymmetry in design



Building E-2, E-3 Elevation A



"Building massings...should be de-emphasized in a variety of ways: ...divisions or breaks in materials, window bays, separate entrances and entry treatment..." (§3.3, p. 48)

Vertical articulation

"The Central Park District is organized around the Central Park...in the heart of the Lighthouse Landing community." (§2.4 p. 19)

- Block E transitions to a more contemporary expression on the central park. It is more open and incorporates outdoor space such as balconies, terraces and yards overlooking the park.

"...color palette is a warm one but with a diverse range in its architectural details..." (§4.4, p. 58)

- Materials and colors are still predominantly earth tones, with a common masonry language throughout.

"Great streets include buildings that have evolved over time." (§4.4, p. 57)

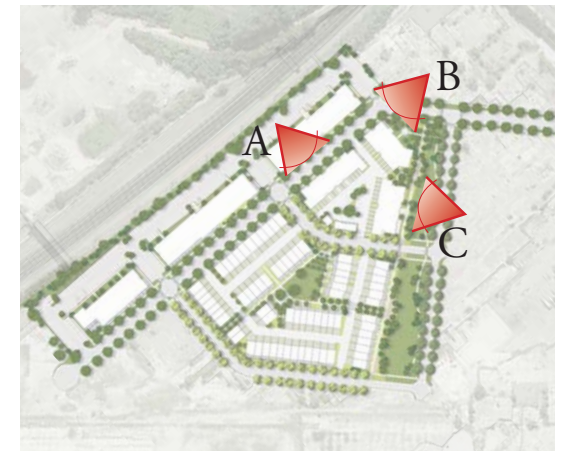
- The buildings are broken down to give the impression of a building that has evolved over time.

"Buildings will exhibit variety in their massing, projections and recesses..." (§3.3, p. 47)

- The 'ins and outs' create a more pedestrian scale and provide appropriate visual interest on the streetscape.
- Important corners are emphasized with a more vertical expression.




Building E-1 Elevation A




Building E-2 Elevation B



Building E-3 Elevation C



Corner Elements




Bays and Balconies used to articulate facade



The Townhome District



A Pedestrian Friendly Environment



Modulated Roof Forms

Townhome District 2.5

Design Principles

The Townhome District provides additional housing choices for the Lighthouse Landings community. The district will accommodate a variety of townhome types. The Townhome District strives to create variety and choice in a Village setting.

Design Elements

Streetscape
The Streetscape along the Central Park district will be neighbourhood oriented in character; with an emphasis on stoops, porches, small front yard areas, side walks, street lights, and street trees to create a walkable neighborhood environment.

Parking
In general, parking will be hidden within the blocks of the Townhome District; The District will employ an alley system to provide access to townhome garages and service areas.


Building relationship to Street.
By using a rear-loaded alley arrangement, the Townhome District will maintain street frontage unobstructed by garage doors. At special locations at the waterfront, the townhome blocks may open up to provide views to the water from the interior of the block.

Building Language and Massing
In general, design each building to complement the architectural character of its immediate neighbors and to be sensitive to their material, color, and scale. In general, the massing of buildings in the Townhome District range from 3-4 floors. Flat roofs and Roof decks are acceptable in the Townhome District.







LIGHTHOUSE LANDING AT SLEEPY HOLLOW




THE VILLAGE OF SLEEPY HOLLOW




DIVNEY + TUNG + SCHWALBE



RTKL



GM



ROSELAND
PROPERTY COMPANY

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"The townhouse district strives to **create variety and choice in a Village setting.**" (§2.5, p. 21)

"An emphasis on **stoops, porches, small front yard areas, side walks, street lights and street trees** to create a walkable neighborhood environment." (§2.5, p. 21)

"At special locations at the waterfront the townhome blocks may open up to **provide views to the water from the interior block.**" (§2.5, p. 21)

"The Townhouse District also **include several smaller pocket parks that provide variety to the landscape experience.** Intimate landscape spaces within the townhome blocks provide variety in the urban fabric." (§2.5, p. 22)

"...allowing variety and interruptions in roof line and skyline treatment that will enhance the sense of pedestrian scale and visual treatment..."
 (§3.3, p. 47)

"...emphasis on stoops, porches, small front yard areas...to create a walkable neighborhood environment." (§2.5, p. 21)

"Intimate landscaped within the townhouse block provide variety in the urban fabric."
 (§2.5, p. 22)

"Visual vitality and architectural diversity will further be achieved through the use of elements such as balconies, porches, turrets, dormers, bays and areaways."
 (§3.3, p. 47)



Townhouse Elevation A

Pedestrian Passage

"The district will accommodate a variety of town home types. The townhome district strives to create variety and choice in a village setting." (§2.5 p. 21)

- The architectural character of townhomes varies per their location and context and are reflected as distinct 'park' and 'village' styles.

"In general, parking will be hidden within the blocks of the Townhome District." (§2.5, p. 21)



- Rear loaded alleys allow the townhouses to maintain a strong street / park frontage unobstructed by garage doors.
- An emphasis on stoops, porches, sidewalks and front yards creates a walkable neighborhood.

"Buildings will exhibit variety in their massing, projections and recesses..." (§4.4, p. 57)

- Bay windows and balconies create variety in the facades and building massing.

"...Townhome District also includes several small pocket parks to provide a variety to the landscape experience." (§2.5, p. 22)

- Intimate landscaped areas create unique settings within the neighborhood.

NEIGHBORHOOD ADDRESSES	
	Village - Loft
	Park - River Views / Open Space, Mews, Garden



Elevation A: Road 4



Elevation B: Central Park